



CITY OF MEDINA
Community Development Department
132 N. Elmwood Ave. Medina, OH 44256
Phone: 330-722-9056 Fax: 330-764-4385

MEMORANDUM

DATE: February 1, 2024
TO: Planning Commission
FROM: Andrew Dutton, Community Development Director
SUBJECT: P23-04 Extension

Conditional Zoning Certificate application P23-04, a request by Anthony Cerny for first-floor residential units at 135 West Liberty Street, was approved by the Planning Commission on March 9, 2023. Per Section 1153.02(g), the use must commence within one year of the Conditional Zoning Certificate approval, or March 9, 2024.

At this time, the Porter's Shoe Repair building on the site has been demolished. In addition, building plans have been submitted for the project for review by the City of Medina Building Department, however, a Building Permit has not been issued. The building plans do not include any substantive exterior changes to the building from the Certificate of Appropriateness approval.

Processes have been delayed on the project due to matters concerning the demolition of the Porter's Shoe building, assembling the property, acquiring easements, and other items. Therefore, the applicant has requested a two year extension.

Staff recommends the granting of an extension to the approval requiring that the use must commence by **March 9, 2026**, or the Conditional Zoning Certificate approval shall expire.

Please let me know if you have any questions or need any further information regarding the request.

Andrew Dutton

From: Tony Cerny <architectural_design_studios@hotmail.com>
Sent: Monday, January 22, 2024 3:05 PM
To: Andrew Dutton
Cc: Lisa Haid; Brendan Rose; Mike Rose
Subject: Uptown Thirteen Five (formerly Liberty View) Extension Request

Andrew,

We are requesting an additional one-year extensions for the Uptown Thirteen Five project (previously known as Liberty View) for the various approvals listed below. We are requesting this extensive as we finalize our pricing with the contractor for the project. Our goal is to try and get construction started this spring.

- Historic Preservation Board (H21-05): Certificate of Appropriateness approval from the Historic Preservation Board to demolish an existing building and construct a new four-story mixed-use building. Previous extension granted 4/8/23.
- BZA (Z21-06): Variance approval from the Board of Zoning Appeals from Section 1135.06 to allow a building with a footprint larger than 5,000 sq. ft. Previous extension granted 4/8/23.
- Planning Commision (P21-08): Site Plan approval from the Planning Commission to construct a new four-story mixed-use development. Previous extension granted 4/8/23. Revised Site Plan approval for site plan modifications to the south and east building elevations granted 5/11/23.

We are also requesting a two-year extension of the following Conditional Use approval as it relates to the subsequent use/occupancy requirement upon building construction completion.

- Conditional Use (P23-04): Approval for first floor residential units. Approved 3/9/23.

Respectfully submitted,

Tony Cerny
Architectural Design Studios
620 East Smith Road Ste E-2
Medina, Ohio 44256
330.723.6975



N ELMWOOD AVE

S ELMWOOD AVE

Subject Site

W LIBERTY ST

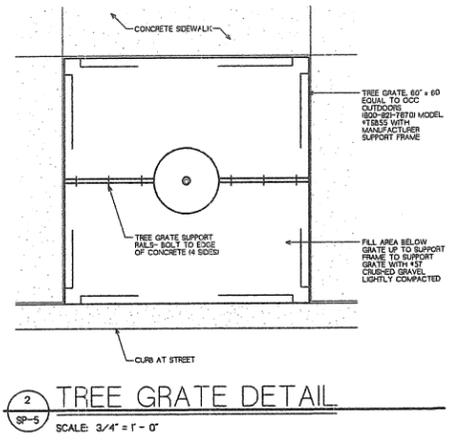
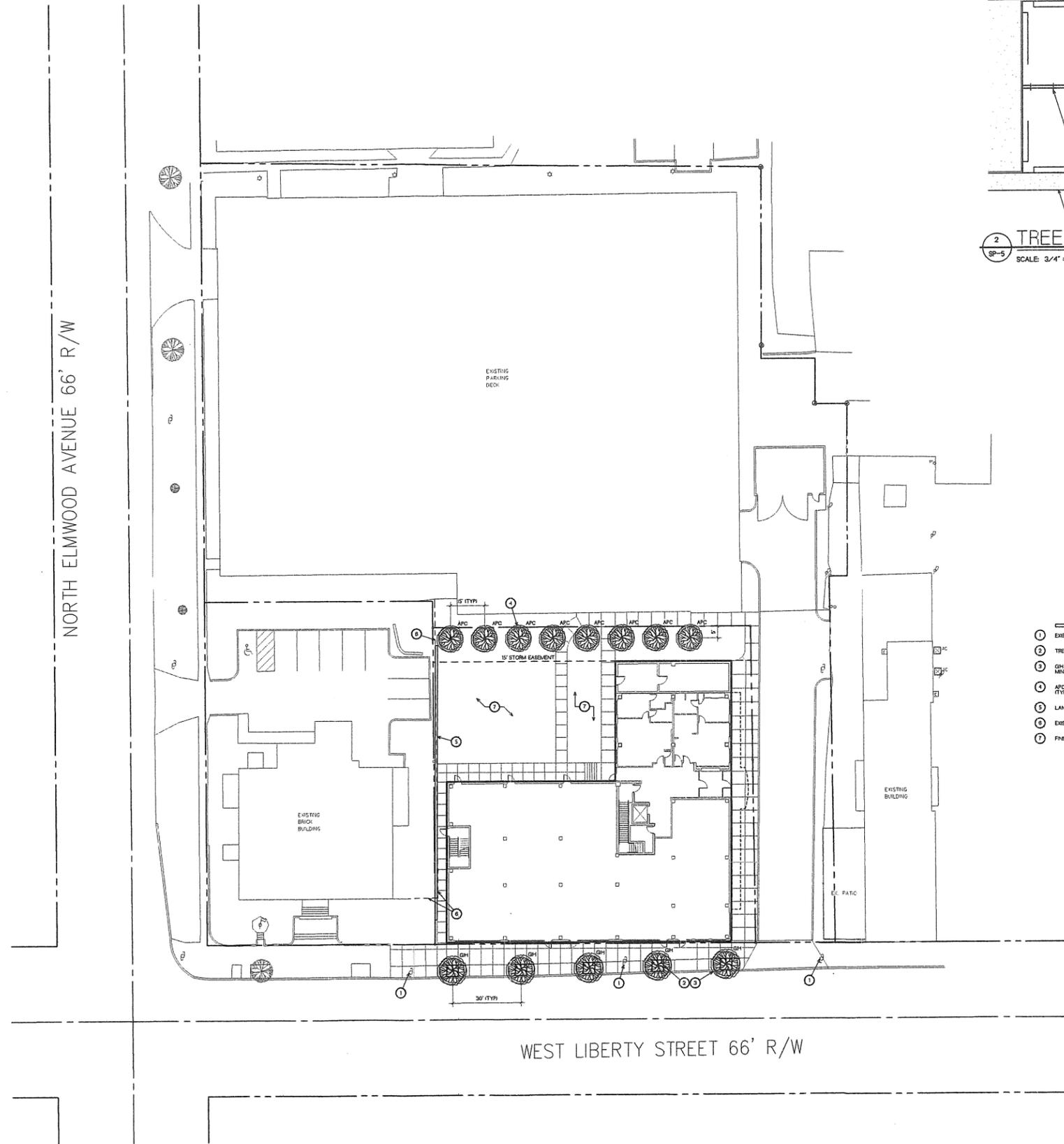
N COURT ST

S COURT ST



0 25 50 100 150 200 Feet

Site Plan



- SITE LANDSCAPE PLAN NOTES**
- 1 EXISTING UTILITY POLES TO REMAIN.
 - 2 TREE GRATES ALONG SIDEWALK. REFER TO DETAIL THIS SHEET.
 - 3 GH - GLEDITSIA TRIANGULATOS VARIETY WEINER, IMPERIAL THORNLESS HONEYLOCUST, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
 - 4 APC ACER PLATA MODES COLLANNADE, COLLANNA NORWAY MAPLE, MINIMUM 2" CALIPER (TYPICAL AS NOTED).
 - 5 LANDSCAPE RETAINING WALL. REFER TO GRADING PLAN.
 - 6 EXISTING PRIVACY FENCE TO BE REMOVED.
 - 7 FINISH GRADE AND SEED.

SITE LANDSCAPE PLAN
 SCALE 1" = 20' - 0"
 NORTH

PLOTTED 10/18/2021

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ISSUED	
03/02/2021	ISSUED FOR PLANNING
04/05/2021	ISSUED FOR REVIEW & BUDGETING
10/07/2021	ISSUED TO MEDINA CITY FOR REVIEW
11/01/2021	
11/01/2021	
11/01/2021	
11/01/2021	
11/01/2021	
11/01/2021	

LIBERTY VIEW
 135 WEST LIBERTY STREET
 MEDINA, OHIO 44256

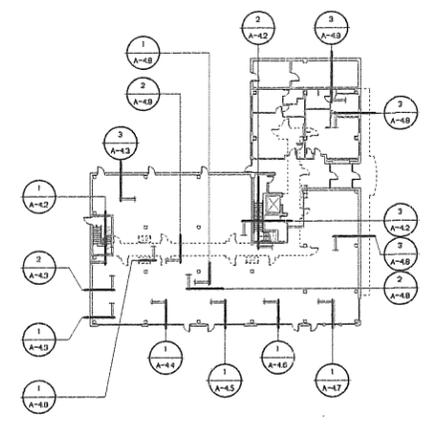
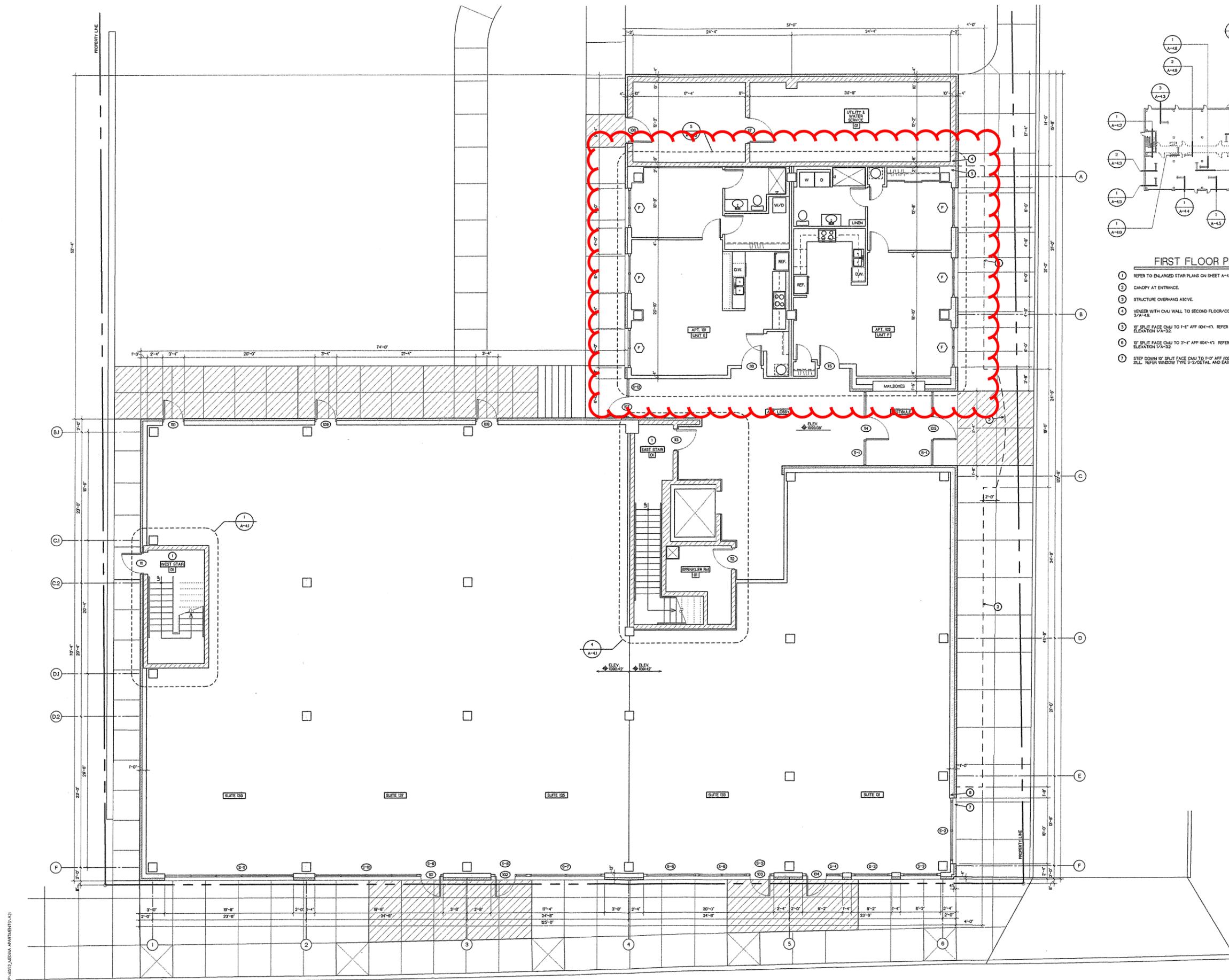
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SEPTEMBER 2018
 #18052

SP-5

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 Know what's below.
 Call before you dig.

P:\CADD\2021\18052\MEDINA\LIBERTYVIEW\SP5



FIRST FLOOR PLAN NOTES

- 1 REFER TO ENLARGED STAIR PLANS ON SHEET A-41
- 2 CANOPY AT ENTRANCE
- 3 STRUCTURE OVERHANGS ABOVE
- 4 VENEER WITH CMU WALL TO SECOND FLOOR/CONCRETE PLANK. REFER TO SECTION 3/A-48
- 5 1/2" SPLIT FACE CMU TO 1'-6" AFF. ID#4-17. REFER TO SECTION 3/A-48 AND EAST ELEVATION 1/A-32
- 6 1/2" SPLIT FACE CMU TO 3'-4" AFF. ID#4-17. REFER TO SECTION 3/A-48 AND EAST ELEVATION 1/A-32
- 7 STEP DOWN 1/2" SPLIT FACE CMU TO 1'-0" AFF. ID#2-07 TO COORDINATE WITH WINDOW SILL. REFER WINDOW TYPE S-2/DETAIL AND EAST ELEVATION 1/A-32.

FIRST FLOOR PLAN
 SCALE 3/16" = 1'-0"
 NORTH

DIMENSIONS TO STUD WALLS ARE NOMINAL AND ARE INTENDED TO ROUGHLY REPRESENT FACE OF STUD TO FACE OF STUD.
 4" x 3-5/8" STEEL STUD
 6" x 6" STEEL STUD

PLOTTED 10/18/2021

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ISSUED

03/02/2021	ISSUED FOR PLANNING
04/09/2021	ISSUED FOR REVIEW & BUDGETING
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LIBERTY VIEW
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 MEDINA, OHIO 44256

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A-21



Liberty View



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