



BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number **P25-04**

GENERAL	Date of Application <u>3/10/2025</u>
	Property Location <u>665 Lafayette Road, Medina, OH 44256</u>
	Description of Project <u>Enclosure of existing dining deck extending approximately 8' into front yard setback.</u>
CONTACT INFORMATION	Applicant
	Name <u>William Adams</u>
	Address <u>447 Main St</u> City <u>Wadsworth</u> State <u>OH</u> Zip <u>44281</u>
	Phone <u>(330) 350-1593</u> Email <u>adamswilliam22@gmail.com</u>
	Property Owner
	Name <u>IBC Bars, LLC</u>
Address <u>1341 Freeport Drive</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u>	
Phone <u>(330) 350-1593</u> Email <u>adamswilliam22@gmail.com</u>	
APPLICATION TYPE	Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/>
	Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> TC-OV <input checked="" type="checkbox"/> Other <input type="checkbox"/>
	Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/>
	Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/> <u>SECTION 1141.05, MIN FRONT YARD SETBACK</u>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.
	Signature <u>[Signature]</u> Date <u>19 Mar 2025</u>
OFFICIAL USE	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ <u>50</u>
	Meeting Date <u>4/10/25</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

P25-04
Diner 42 Front Addition

Property Owner: IBC Bars LLC
Applicant: William Adams
Location: 665 Lafayette Road
Zoning: I-1 (Industrial)
Request: Transitional Corridor Overlay (TC-OV) District approval for a front addition

LOCATION AND SURROUNDING USES

The subject site is composed of 0.51 acres on the north side of Lafayette Road. Adjacent properties include the following uses and zoning:

- North – Industrial (I-1)
- East – Vacant (C-1)
- South – Single-Family Residence (C-1)
- West – Industrial (I-1)



BACKGROUND & PROPOSED APPLICATION

The building previously incorporated an uncovered front deck used for outdoor dining located 16 ft. 10.5 in. from the right-of-way. Recently, the uncovered deck was roofed and enclosed without necessary permits. The enclosure includes a dark metal roof, unfinished wood siding, and windows on all sides.

DEVELOPMENT STANDARDS

Section 1141.05 requires a minimum front setback of 25 ft. for principal buildings.

Section 1113.04(k)(3) provides an exception allowing unenclosed porches to project into the front setback up to 10 ft. Therefore, the previously uncovered deck had a required minimum front setback of 15 ft. from the right-of-way. The uncovered deck was compliant with the front setback requirement at 16 ft. 8 in. from the right-of-way.

The enclosed deck does not qualify for the exception and has a minimum front setback of 25 ft. The enclosed deck is located at 16 ft. 8 in from the right-of-way and does not meet the required front setback. The applicant has submitted an area variance to Section 1141.05 to allow a principal structure in the front setback.

ADJACENT BUILDINGS

The area contains a mix of industrial, commercial, and residential structures without a consistent architectural theme. Adjacent buildings on the north side of Lafayette Road are industrial and commercial buildings with vertical metal or wood siding and flat roofs and are located approximately 30 ft. to 35 ft. from the right-of-way.

Adjacent buildings on the south side of Lafayette Road are two story single-family residences built in the 1920's. Buildings are located approximately 20 ft. from the right-of-way.

TC-OV OVERLAY DEVELOPMENT GUIDELINES

The criteria contained in the Overlay District Development Guidelines shall be used by the Planning Commission to guide their decision. As found in TCOV.2, the Commission has "the authority to interpret and apply these regulations on a case by case basis". Applicable sections are as follows:

TCOV.7 Exterior Renovation or Alterations of Existing Structures.

- (a) The distinguishing original qualities of a building or structure should not be destroyed. The removal or alteration of historic materials or distinctive architectural features should be avoided when possible.
- (b) Architectural elements shall be sensitively designed to reflect detailing associated with the particular style of building.
- (c) The design elements and scale of a building addition shall be compatible with the design elements of the principal structure, in particular, building materials and color, roof lines and shapes and window proportions and alignment.

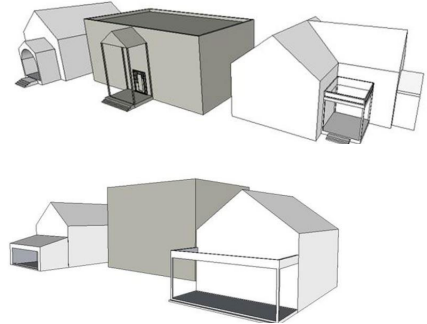
TCOV.8 Building Materials and Appurtenances.

- (a) The architectural character and exterior building materials of new and remodeled buildings should be harmonious with surrounding buildings in color and texture, proportion, scale, patterns and opening sizes and shapes.
- (b) Construction materials and colors for walls and fences that are visible from the street should be uniform and compatible with the architectural style, color and building material of the building and its surroundings.
- (c) The original pattern of window and door openings and their shape and configuration should not be altered. Window and door openings should not be reduced, enlarged, or filled-in on street facade. Replacement windows and doors should match the original in size, shape and design.
- (d) Original materials should be repaired, restored, and reused whenever possible. Where necessary missing or deteriorated materials should be replaced with appropriate recycled or new materials which match the original as closely as possible.

TCOV.9 Building and Lot Aesthetics.

(e) Setback.

- (1) Consider maintaining the architectural façade lines of streetscape by locating front walls of new buildings in the same plane as facades of adjacent buildings. If existing setbacks vary, the new building should conform to historic siting patterns.
- (2) Avoid violating the existing setback pattern by placing new buildings in front of or behind the historic façade line. Avoid placing buildings at odd angles to the street unless in an area where diverse siting already exists.



The incorporation of the enclosure does not significantly alter historic materials or distinctive architectural features. However, the enclosure pushes the front wall of the building beyond the front wall of adjacent buildings.

COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION

Staff recommends approval of application P25-04 as submitted with the condition that the project shall comply with Section 1141.05 to allow a principal structure in the front setback or receive variance approval from the Board of Zoning Appeals.

365 Lafayette Road Existing Photographs (Prior to Deck Enclosure)

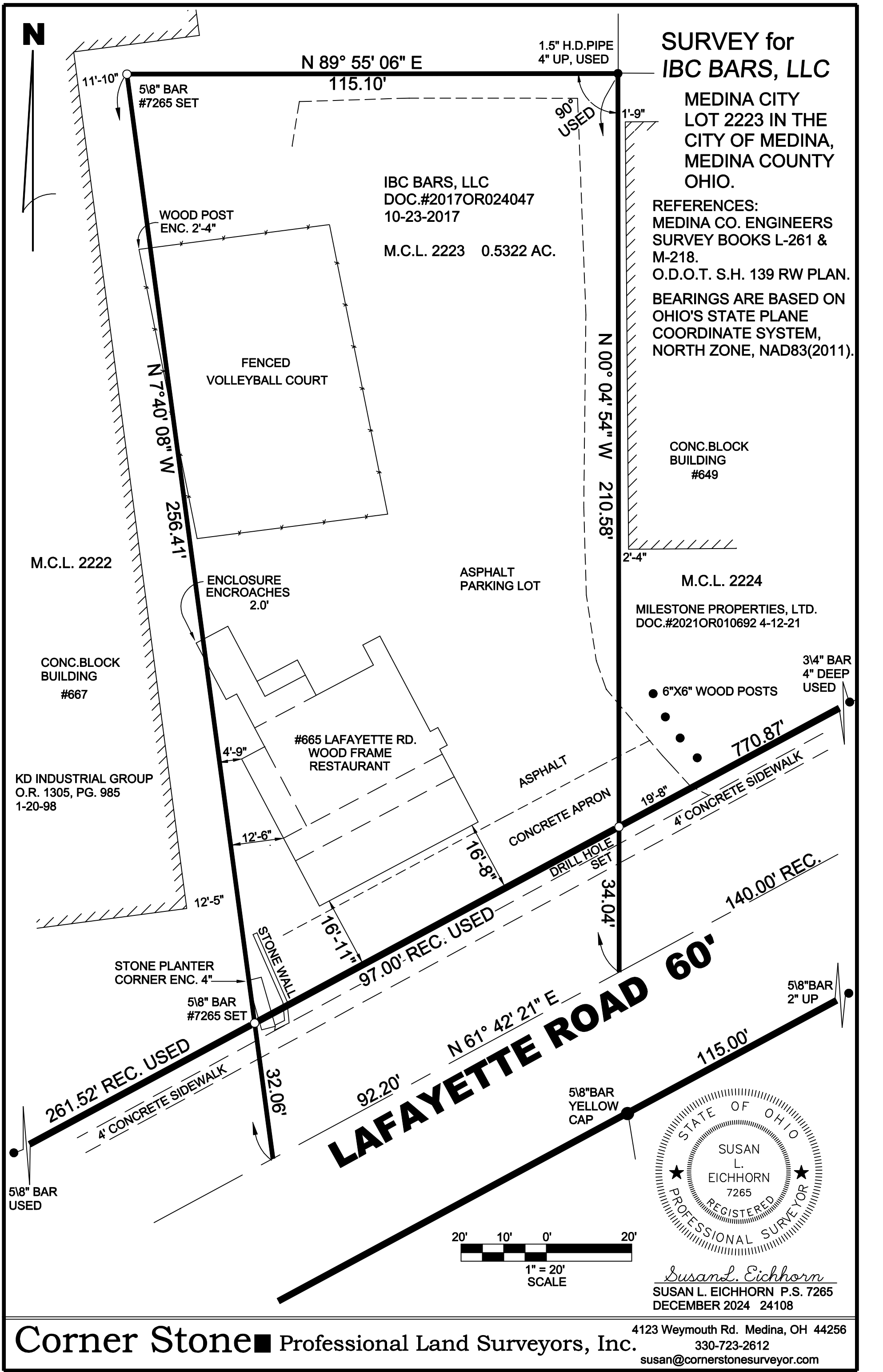


365 Lafayette Road Existing Photographs (After Deck Enclosure)



665 Lafayette Road





**SURVEY for
IBC BARS, LLC**

MEDINA CITY
LOT 2223 IN THE
CITY OF MEDINA,
MEDINA COUNTY
OHIO.

REFERENCES:
MEDINA CO. ENGINEERS
SURVEY BOOKS L-261 &
M-218.
O.D.O.T. S.H. 139 RW PLAN.
BEARINGS ARE BASED ON
OHIO'S STATE PLANE
COORDINATE SYSTEM,
NORTH ZONE, NAD83(2011).

IBC BARS, LLC
DOC.#2017OR024047
10-23-2017
M.C.L. 2223 0.5322 AC.

CONC.BLOCK
BUILDING
#649

M.C.L. 2224

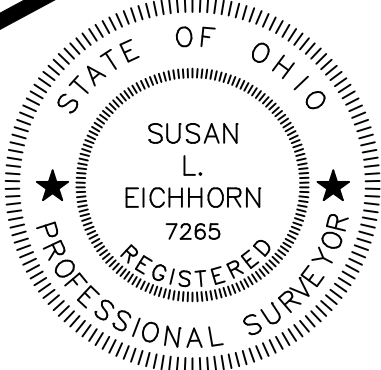
MILESTONE PROPERTIES, LTD.
DOC.#2021OR010692 4-12-21

CONC.BLOCK
BUILDING
#667

KD INDUSTRIAL GROUP
O.R. 1305, PG. 985
1-20-98

#665 LAFAYETTE RD.
WOOD FRAME
RESTAURANT

LAFAYETTE ROAD 60'



Susan L. Eichhorn
SUSAN L. EICHHORN P.S. 7265
DECEMBER 2024 24108

PROJECT DATA

PROJECT NAME:	DINER 42 PORCH ENCLOSURE	OWNER:	BILL ADAMS IBC BARS LLD 1341 FREEPORT DRIVE MEDINA, OH 44256
PROJECT LOCATION:	665 LAFAYETTE ROAD MEDINA, OH 44256		
APPLICABLE CODE:	2024 OHIO EXISTING BUILDING CODE 2024 OHIO BUILDING CODE 2017 OHIO ENERGY CODE/ASHRAE 90.1-2010	ARCHITECT:	REED RICHINS WINDFALL ARCHITECTS Ltd 5189 PARK DRIVE MEDINA, OH 44256 (330) 869-6592
OCCUPANCY CLASSIFICATION:	A2/R2 NON-SEPARATED APARTMENT OVER RESTAURANT/BAR (EXISTING, UNCHANGED)		
CONSTRUCTION TYPE:	V-B, NON-SUPPRESSED	GENERAL CONTRACTOR:	TBD
ALLOWABLE HT/AREA	40' H, 1 STORY, 6,000 SF/FL		
PROPOSED HT/AREA	22'-8" H, 2 STORY, 2096 SF FIRST FLOOR RESTAURANT/BAR 941 SF SECOND FLOOR APT, UNCHANGED		
DESIGN OCCUPANT LOAD (COMBINED ENCLOSED EXTERIOR DINING AREA)	668 SF @ 15 NET SF/PERSON = 45 OCCUPANTS		

DESIGN LOADS

POUNDS PER SQUARE FOOT

ROOF

DEAD	12
SNOW	16.8
TOTAL	28.8

FLOOR (DECK)

DEAD	12
LIVE	100
TOTAL	112

WIND

BASIC WIND SPEED = 115 MPH
WIND EXPOSURE: B

EARTHQUAKE DESIGN DATA

SEISMIC DESIGN CATEGORY: B
SEISMIC SITE CLASS : D

SNOW

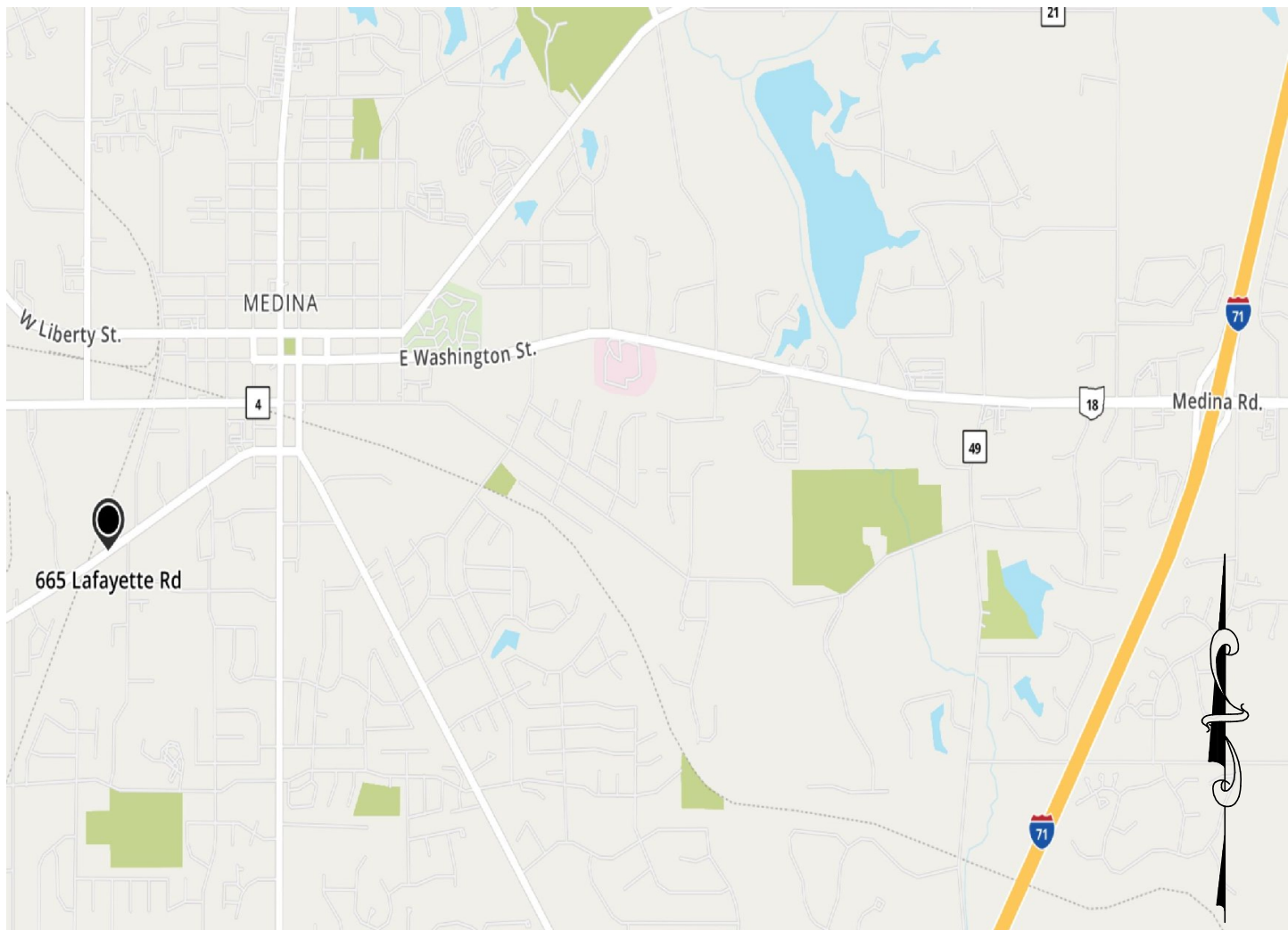
GROUND SNOW LOAD = 20 PSF

SOIL

DESIGN SOIL BEARING CAP = 2,000 PSF

VICINITY PLAN

DINER 42, 665 LAFAYETTE ROAD, MEDINA OH



INDEX OF DRAWINGS

T	TITLE SHEET
S	SITE PLAN
1	PRE-EXISTING ELEVATIONS
1A	PROPOSED ELEVATIONS
2	PRE-EXISTING FLOOR PLAN
2A	PROPOSED FLOOR PLAN
4	ROOF PLAN
5	SECTION, DETAILS
E	ELECTRICAL LAYOUT

CODE SUMMARY

DINER 42 PORCH ENCLOSURE IS A ROOF ADDITION TO AN EXISTING OPEN PORCH DINING DECK AT AN EXISTING BAR/RESTAURANT. THE BAR/RESTAURANT PORTION OF THE BUILDING REMAINS UNCHANGED EXCEPT FOR THE ADDITION OF PASSAGE FRENCH DOORS TO THE ENCLOSED PORCH PER THIS DRAWING SET. AN EXISTING SECOND FLOOR APARTMENT, WITH INDEPENDENT EXIT, REMAINS UNCHANGED.

THE OCCUPANT LOAD OF THE DINING DECK ALLOWS ONE EXIT; ONE NEW ACCESSIBLE EXIT IS PROVIDED, PLUS ONE EXIT THROUGH THE EXISTING BUILDING IS MAINTAINED.

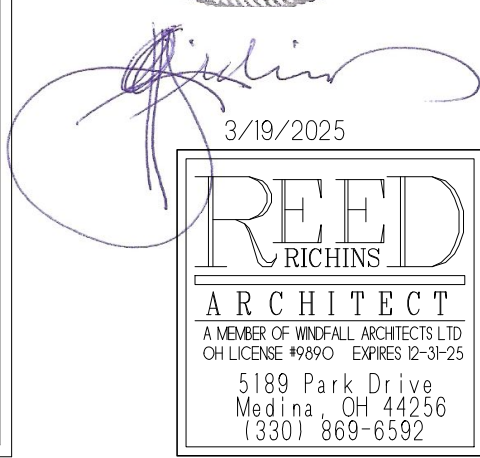
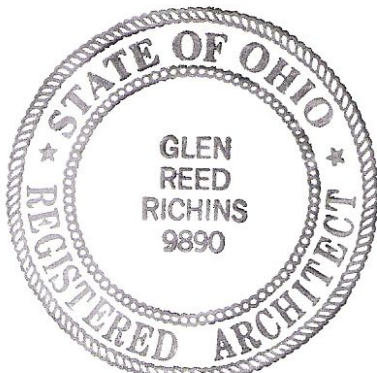
FIRE SUPPRESSION IS NOT REQUIRED OR PROVIDED.

THE EXISTING SEPARATION BETWEEN THE BAR/RESTAURANT & APARTMENT IS MAINTAINED.

THE PROPOSED ENCLOSED DINING DECK IS CLASSIFIED AS NON-RESIDENTIAL UNCONDITIONED SPACE, NOT REQUIRING THERMAL ENVELOPE.

THE PROPOSED MODIFICATION IS AN ALTERATION LEVEL 2 OF AN EXISTING APPROVED STRUCTURE, COMPLYING WITH CHAPTERS 7 AND 8 OF THE CURRENT OHIO BUILDING CODE.

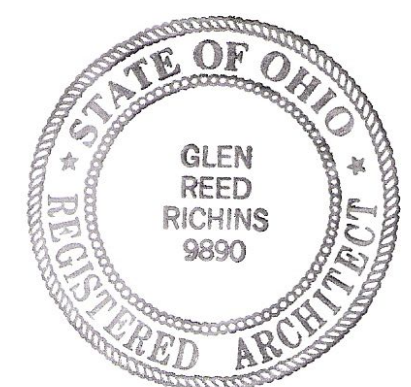
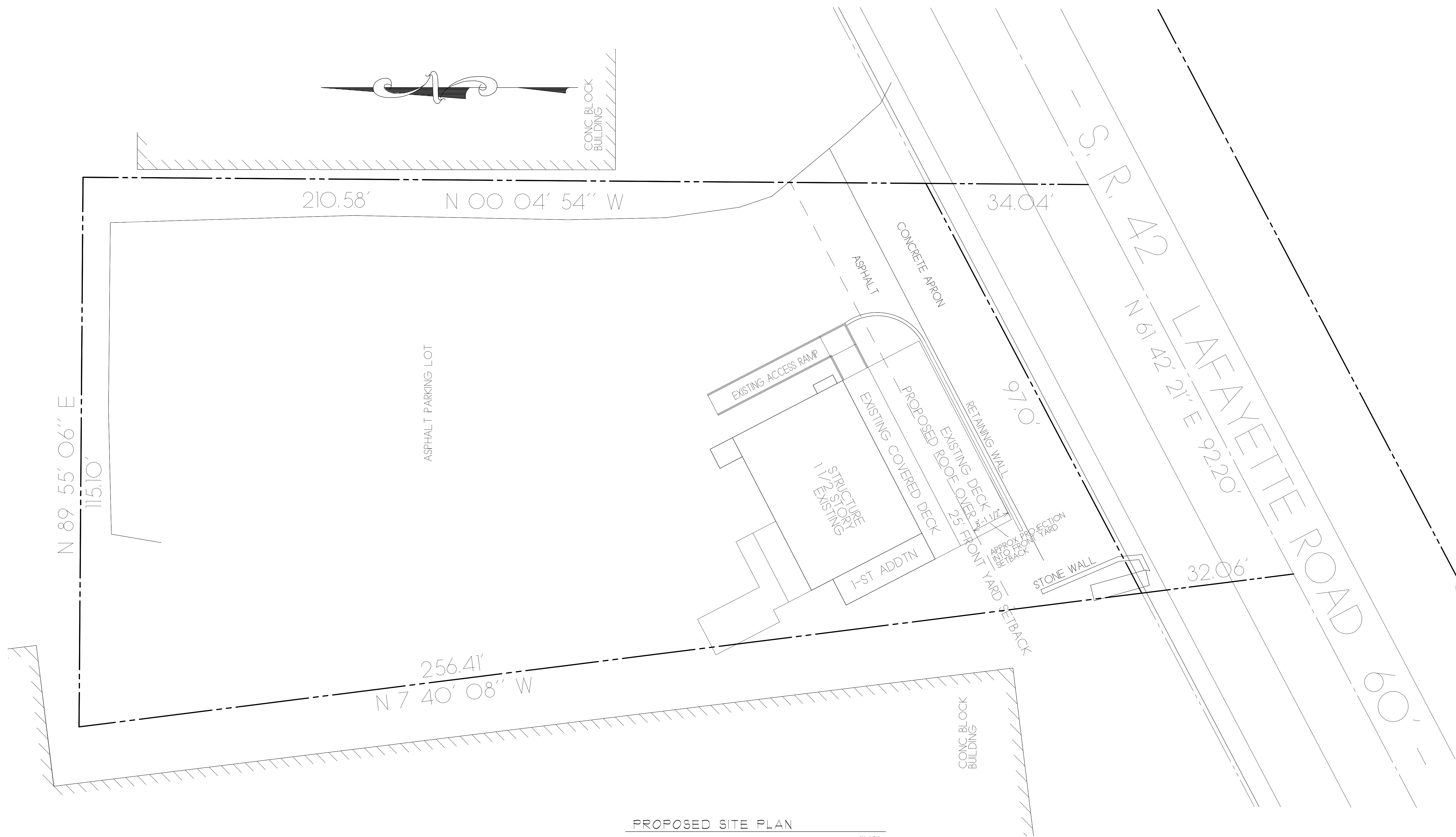
LIGHTING AND POWER IS PROVIDED AT THE ENCLOSURE PER CURRENT ADOPTED ISSUE OF THE NATIONAL ELECTRICAL CODE.



Diner 42 Porch Enclosure
JOB NO. BA-Diner 42
DATE 2/6/25
DRAWN BY RR
APPROVED BY
REVISIONS

SHEET NO.

T



Glen Reed Richins
3/19/2025

REED
RICHINS
ARCHITECT
A MEMBER OF WEGALL ARCHITECTS LTD
OH LICENSE #9890 EXPRES 12-31-25
5189 Park Drive
Medina, OH 44130
(330) 889-6592

Diner 42 Porch Enclosure
JOB NO. BA-Diner 42
DATE 2/8/25
DRAWN BY RR
APPROVED BY
REVISIONS

SHEET NO.
S

PROPOSED SITE PLAN



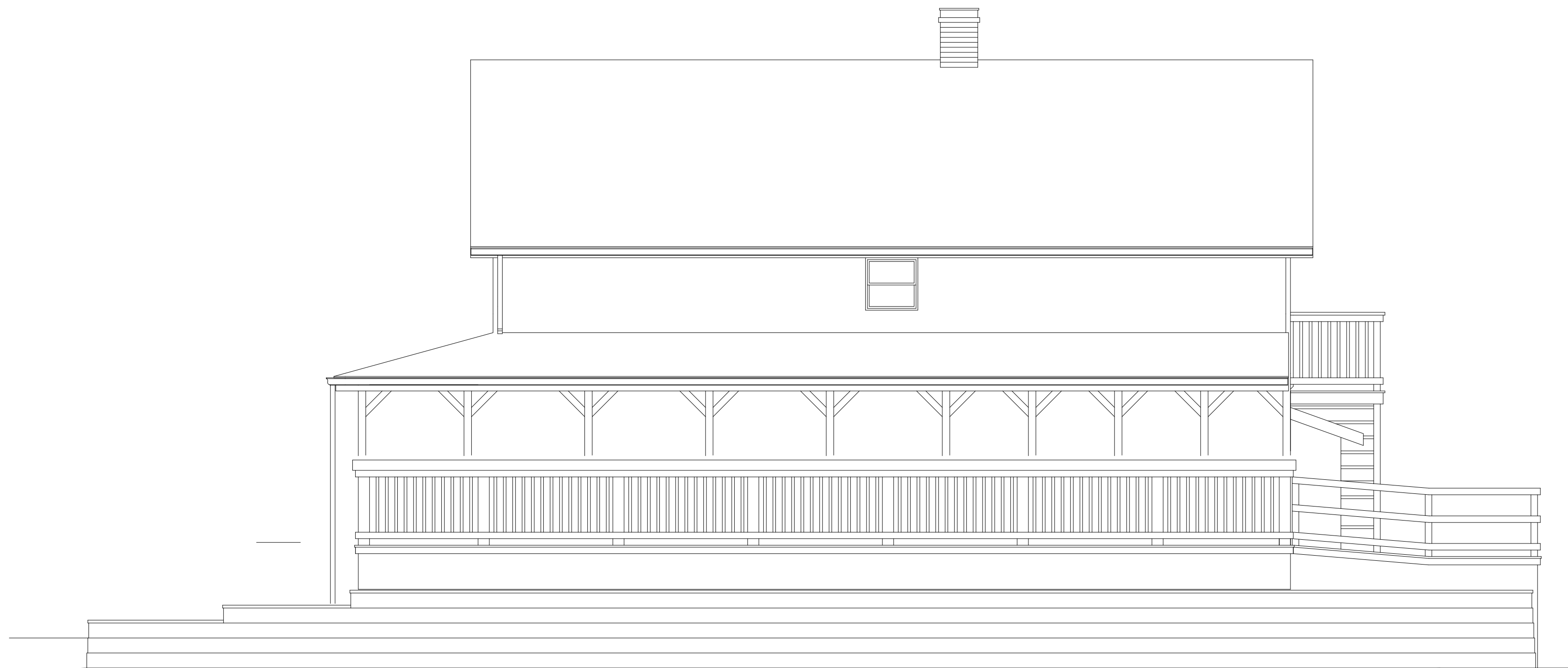
PRE-EXISTING
RIGHT ELEVATION

1/4"=1'-0"



PRE-EXISTING
LEFT ELEVATION

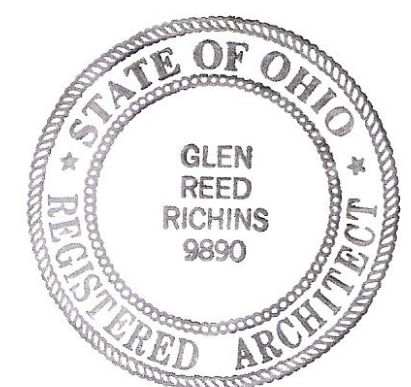
1/4"=1'-0"



PRE-EXISTING
FRONT ELEVATION

1/4"=1'-0"

PRE-EXISTING ELEVATIONS



Glen Reed Richins
3/19/2025

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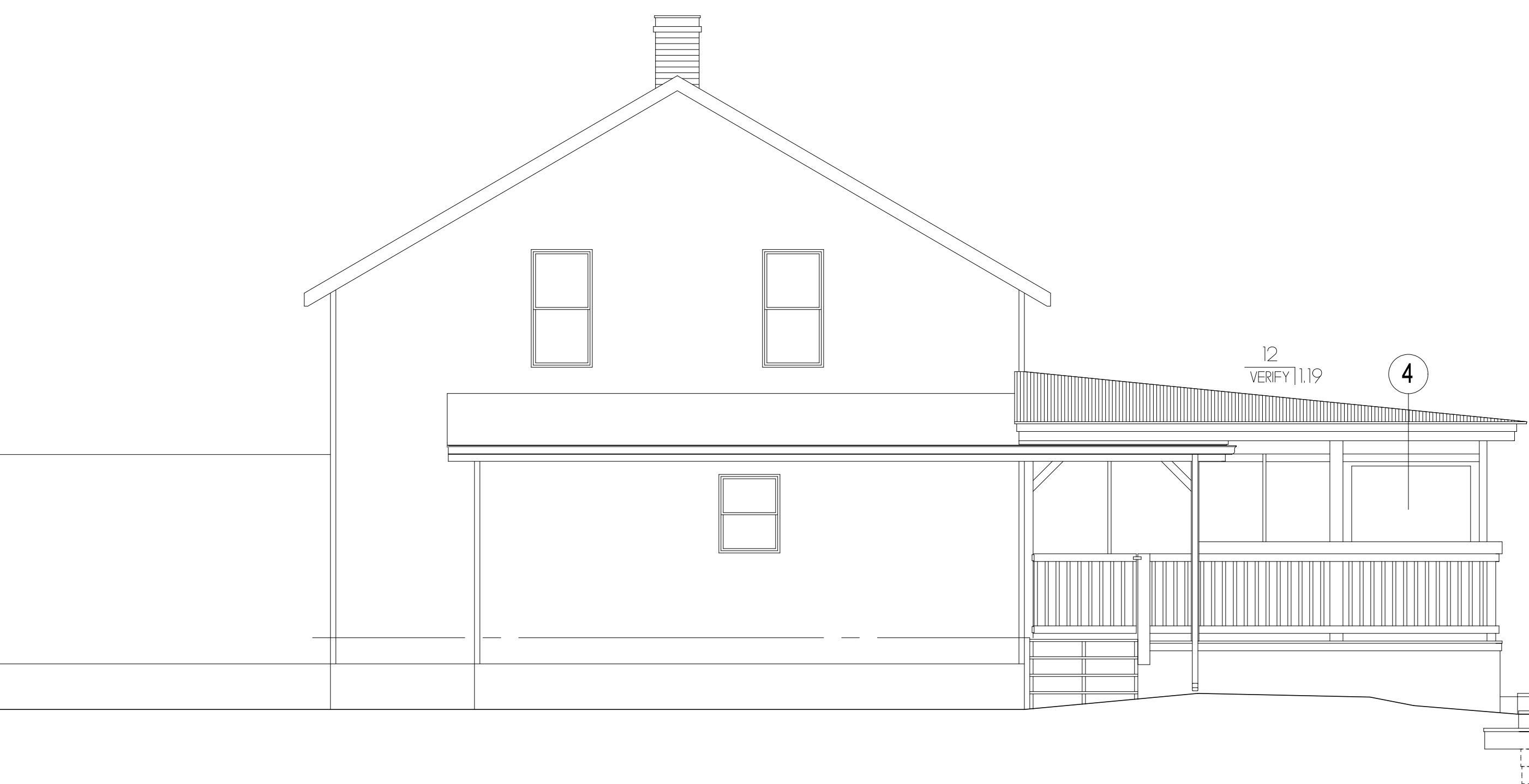
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SHEET NO.
1



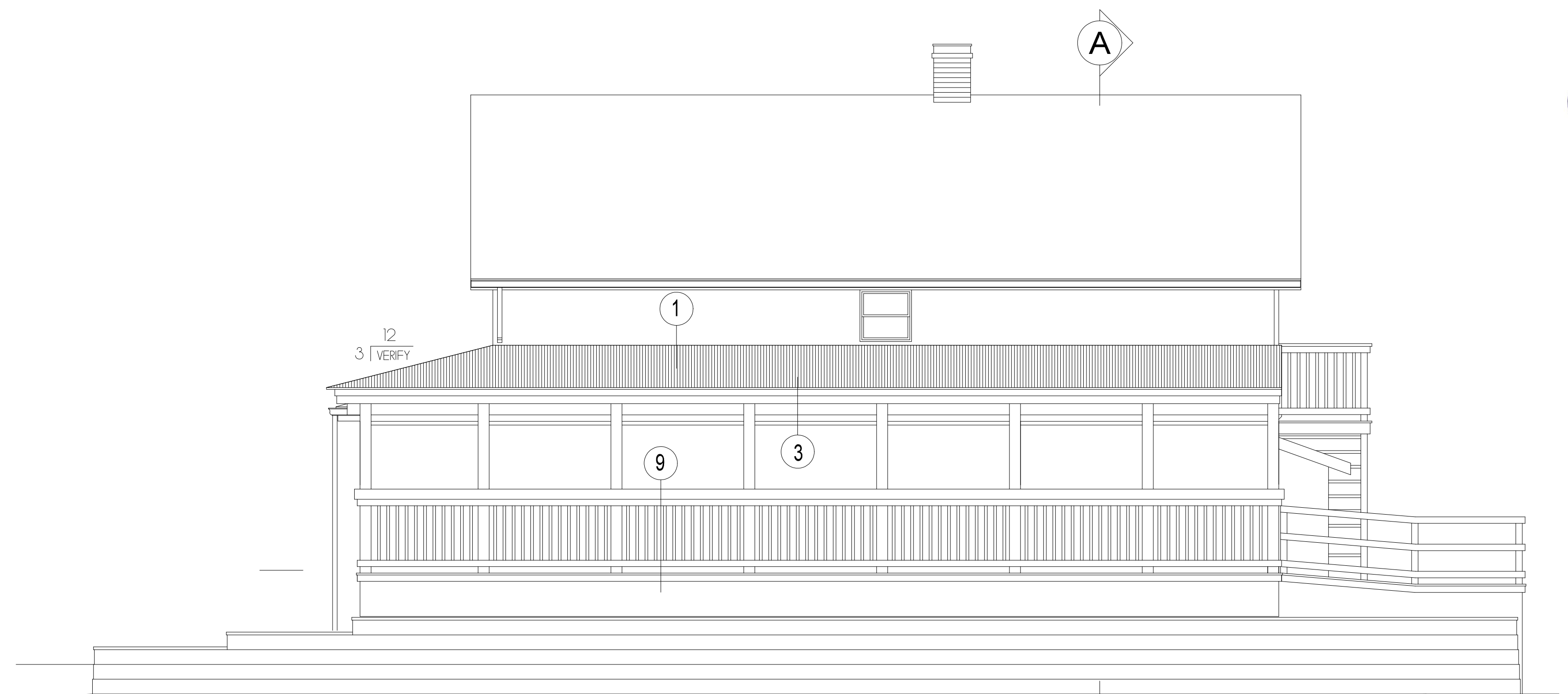
PROPOSED RIGHT ELEVATION

1/4"=1'-0"



PROPOSED LEFT ELEVATION

1/4"=1'-0"



PROPOSED FRONT ELEVATION

1/4"=1'-0"

PROPOSED ELEVATIONS



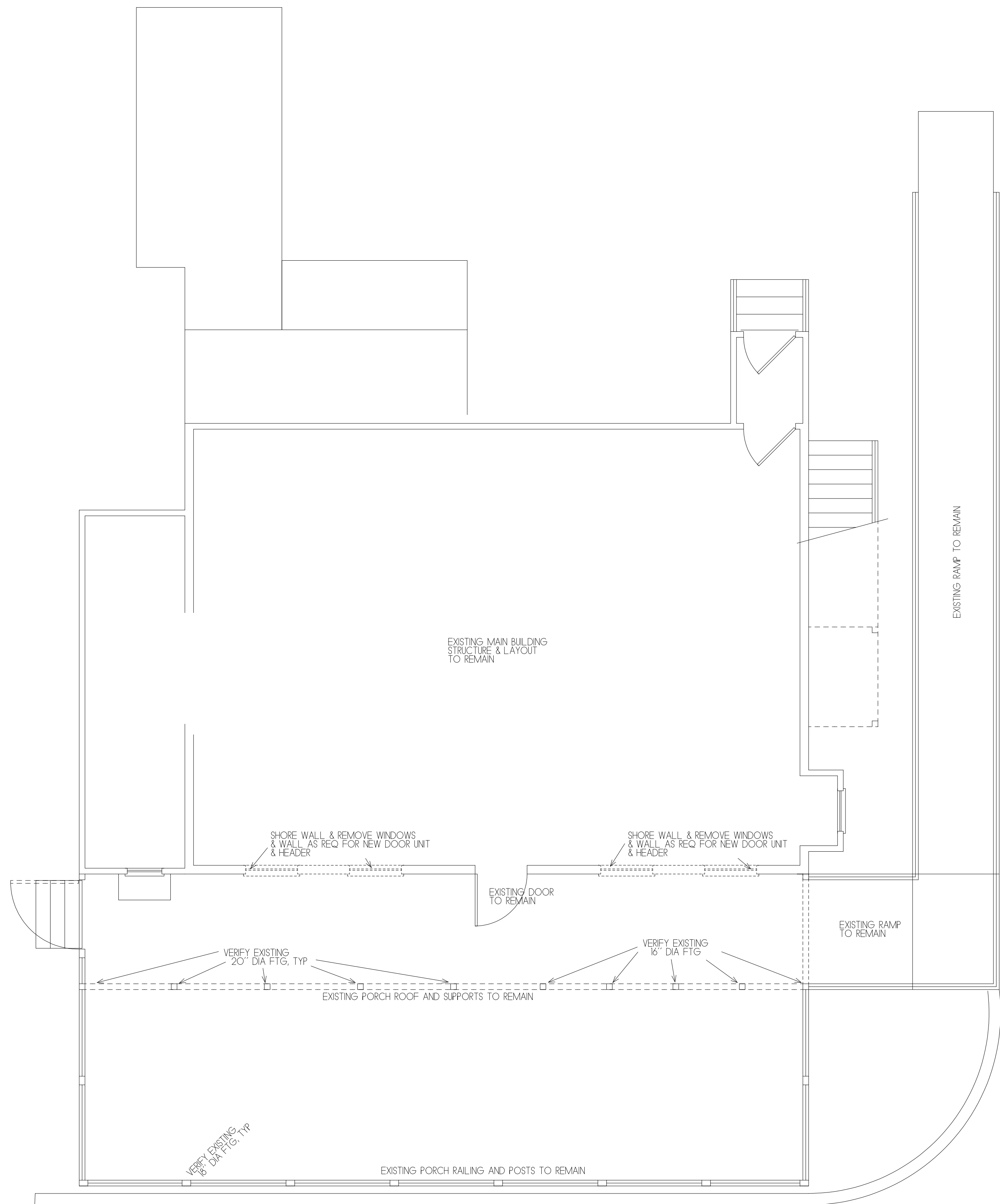
3/19/2025

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OH LICENSE #9890 EXPIRES 12-31-25
5189 Park Drive
Medina, OH 44130
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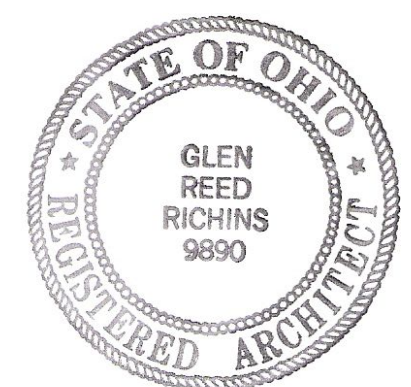
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JOB NO. BA-Diner 42
DATE 2/6/25
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APPROVED BY
REVISIONS

SHEET NO.

1A



PRE-EXISTING/DEMO
FIRST FLOOR PLAN
1/4"=1'-0"



Glen Reed Richins
3/19/2025
REED
RICHINS
ARCHITECT

A MEMBER OF WSPALL ARCHITECTS LTD
OH LICENSE #9890 EXPRES 12-31-25
5189 Park Drive
Medina, OH 44130
(330) 889-6592

Diner 42 Porch Enclosure
JOB NO. BA-Diner 42
DATE 2/6/25
DRAWN BY RR
APPROVED BY
REVISIONS

GENERAL NOTES:

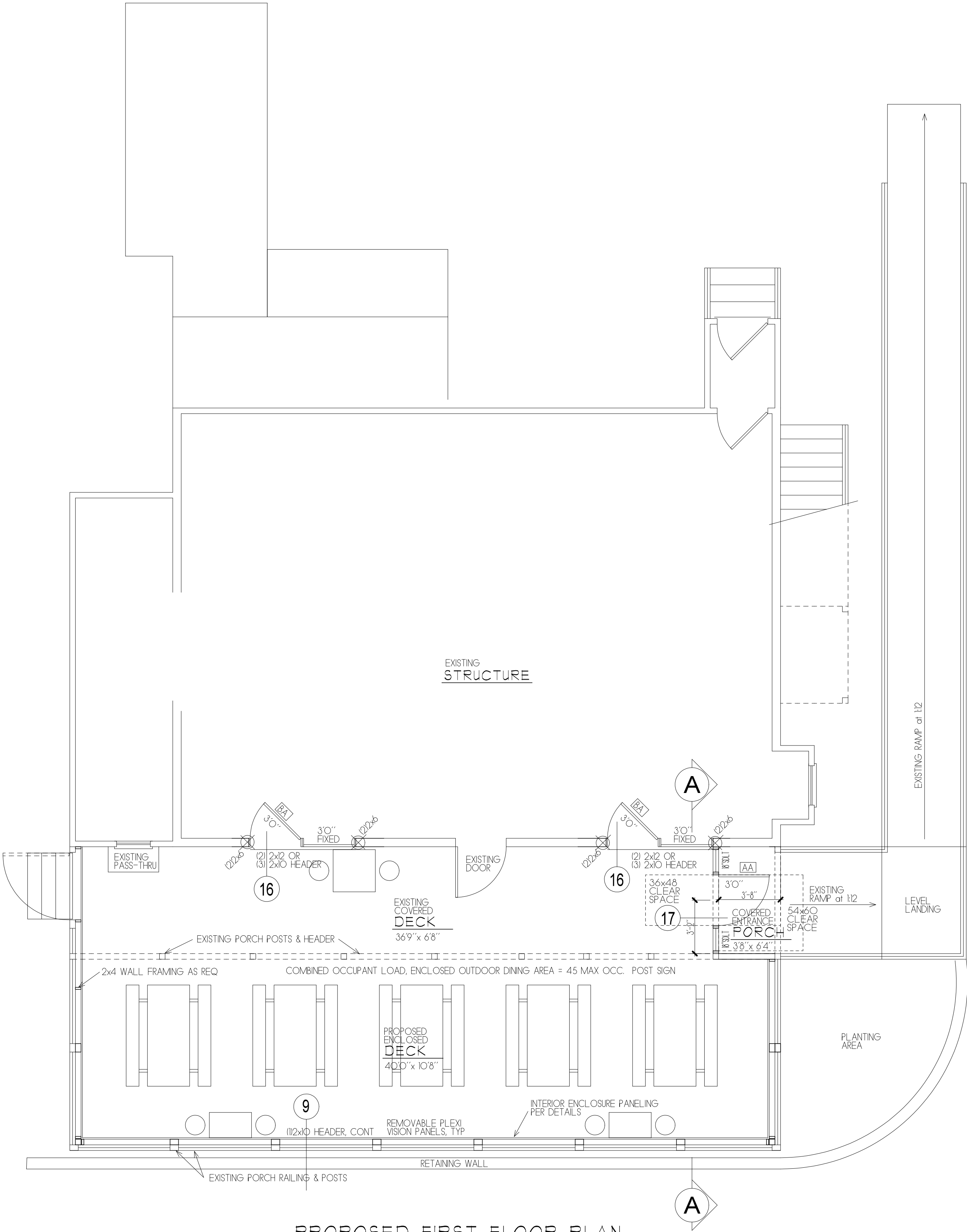
- The contractor shall examine and become familiar with all contract documents, including all specifications and selections in their entirety. The contractor shall survey the project & become familiar with all existing conditions and scope of work. All costs submitted shall be based on a thorough knowledge of work and materials required. Any discrepancy and/or uncertainty as to what material or product is to be used shall be verified with the Owner and/or Architect prior to construction/installation.
- All construction shall comply with the 2024 Ohio Building Code and all other applicable state & local codes.
- The Contractor will be solely responsible for construction means, methods, techniques, sequences, and procedures required for safe execution and completion of work, and for initiating, maintaining and supervising all safety precautions and programs in connection with the work.
- Any errors, omissions or inconsistencies on these drawings, or any variations or ambiguities between these drawings and actual site and construction conditions and/or requirements shall be brought to the attention of the Architect, prior to construction.
- In the event a discrepancy is found in the contract documents the Owner & Architect shall be notified immediately, prior to construction.
- Contractor shall verify all dimensions in the field and notify the Architect of any discrepancies, prior to construction.
- Contractor shall verify all measurements at the site and be responsible for accuracy and correctness of same.
- Contractor shall coordinate his work with all other trades, and notify Owner & Architect of any discrepancies.
- All work and equipment shall be fully guaranteed for one (1) year from the date of certificate of occupancy for each building.
- Materials shall be stored in spaces designated by Owner.
- Rubbish shall be removed from premises regularly, and site shall be maintained in a safe and presentable condition.
- All work and equipment shall be cleaned to the satisfaction of the Owner before Owner's acceptance.
- Shop drawings shall be submitted to the Architect for approval prior to ordering and installing any equipment and/or fabrication.
- The Contractor shall give all notices, file all necessary drawings, and obtain all permits and certificates or approval required in connection with this work under these contract documents. The contractor shall comply with all laws, ordinances, rules and regulations of all authorities having jurisdiction.
- There shall be no deviation from specifications without the written approval of the Owner, Architect and/or Engineer.
- All framing shall be in conformance with the American Forest & Paper Association "Wood Frame Construction Manual", and with additional framing provisions per structural drawings herein.
- All lumber to be grade marked. Species and grade shall be per plans.
- Conventional details shall apply where no special detail or section is shown. The Architect will review any detail submitted for clarification by the Contractor.

CONSTRUCTION NOTES:

- Rough frame dimensions given:
All exterior 2x4 walls are 4" including sheathing.
- Wall heights per elevations and details.
- Refer to plan for location of interior bearing points as indicated.
- Provide horizontal and vertical fireblocking as required by Code.
- Roofing shall be Minimum Class-C except as noted.
- Downspouts where occur shall be connected to storm drains.
- Maximum flame spread rating on all interior finish materials shall not exceed 200.
- Provide corrosion-resistant flashing at the intersection of walls and roofing, per details.
- Coordinate additional blocking required for mech/elec equipment furred ceilings and related items.
- Structural headers (2) 2X10, except as noted or per details.
- Install headers at nominal 6'-10" AFF except as noted otherwise.
- Doors nominal 6'-8" except as noted otherwise.
- Flooring shall be per Interior Finish Schedule below.
- Install cladding & siding per manufacturer's recommendations for attachment and flashing.
- Roof gutters: Minimum 4" ogee K-style w/ plain rectangular downspout to fit, only where indicated per plan. Discharge downspouts into storm drains per Civil plans.
- Provide fire extinguishers per Medina Fire Dept requirements and per Code.
- Provide accessible lever hardware per ANSI A117.1 at all doors.
- Provide solid blocking at all ceiling fans. See MEP drawings for locations.
- Provide tempered glazing at patio doors per Code.
- Design wind speed is 115 MPH.

DECK ENCLOSURE INTERIOR FINISH SCHEDULE:

- WALLS: NATURAL CEDAR PANELING WITH SMOOTH FINISH
- FLOORS: NON-SLIP PAINT ON EXISTING DECKING/
INDOOR/OUTDOOR CARPET OVER EX DECKING
- CEILINGS: PAINT ON EXISTING SOFFIT/EXPOSED ROOF STRUCTURE
- BASE: SELF-BASE OF NATURAL CEDAR PANELING
- CASING: SELF-CASING OF NATURAL CEDAR PANELING



PROPOSED FIRST FLOOR PLAN

272 SF EXISTING COVERED DECK AREA
449 SF ADDTL PROPOSED COVERED DECK AREA
-23 SF PROPOSED EXT COVERED ENTRANCE
698 SF PROPOSED GROSS COVERED DECK AREA
668 SF PROPOSED NET COVERED DECK AREA

1/4"=1'-0"

DOOR SCHEDULE

DOOR	HARDWARE
A COMMERCIAL OUTSWING FULL LIGHT ENTRY DOOR SET	KEYLOCK LEVER
B HINGED INSWING FULL LIGHT PATIO DOOR SET	

DOOR NOTES:

- DOOR HEIGHT 6'8" EXCEPT AS NOTED: WIDTH PER PLAN.
- DOOR FUNCTION (ISWING, ETC) AS INDICATED ON PLAN.
- ALL SWINGING DOORS PREHUNG IN CLAD WOOD FRAMES.
- EXT DOOR & PATIO DOORS TO HAVE ACCESSIBLE THRESHOLDS PER DETAILS.
- KEYLOCK HARDWARE SHALL ALLOW EGRESS WITHOUT KEY.
- ENTRY DOORS & PATIO DOOR LOCKS TO HAVE SAME KEY NUMBER.
- EXT DOOR BASS OF DESIGN: ANDERSEN



Diner 42 Porch Enclosure

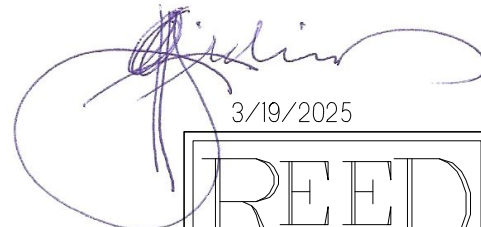
JOB NO. BA-Diner 42
DATE 2/6/25
DRAWN BY RR
APPROVED BY
REVISIONS

SHEET NO.

2A



NOTES:
1. BRACE OVERFRAMING TO STRUCTURE BELOW AS REQUIRED.
2. VERIFY EXISTING CONSTRUCTION.
3. NO INTERIOR BEARING EXCEPT AS INDICATED.

$$1/4'' = 1' - 0''$$


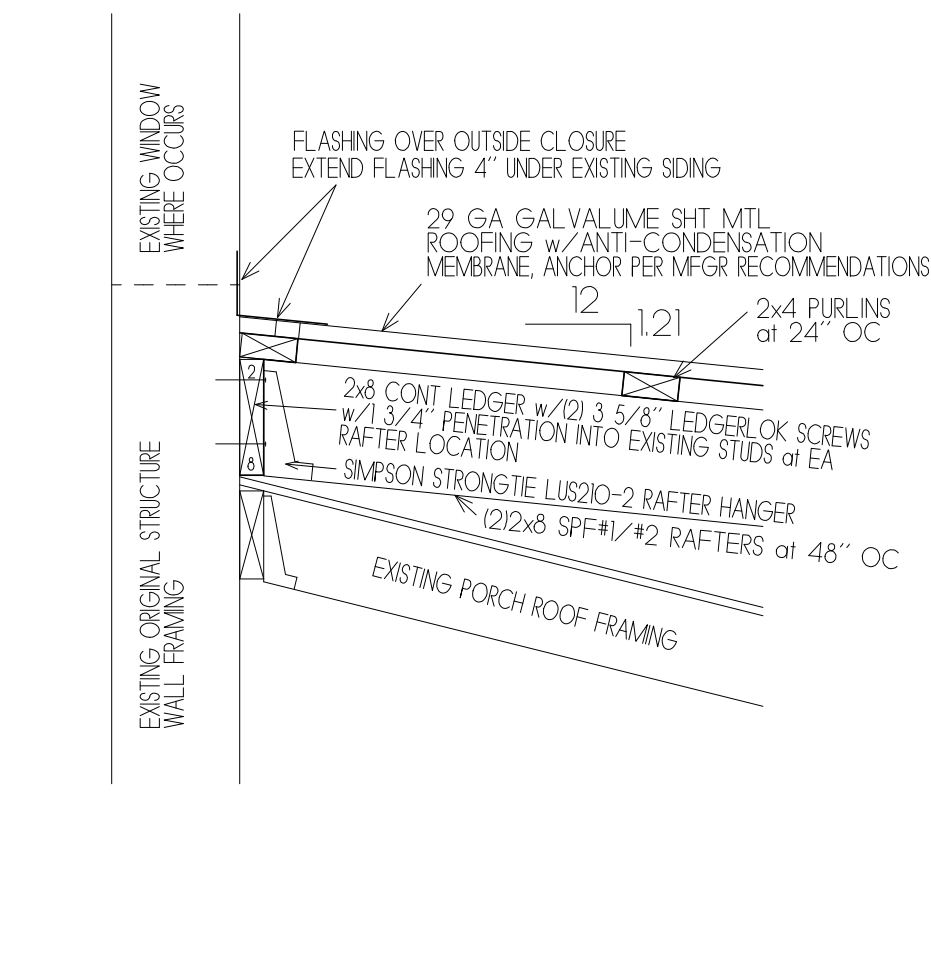
Diner 42 Porch Enclosure

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REVISIONS	

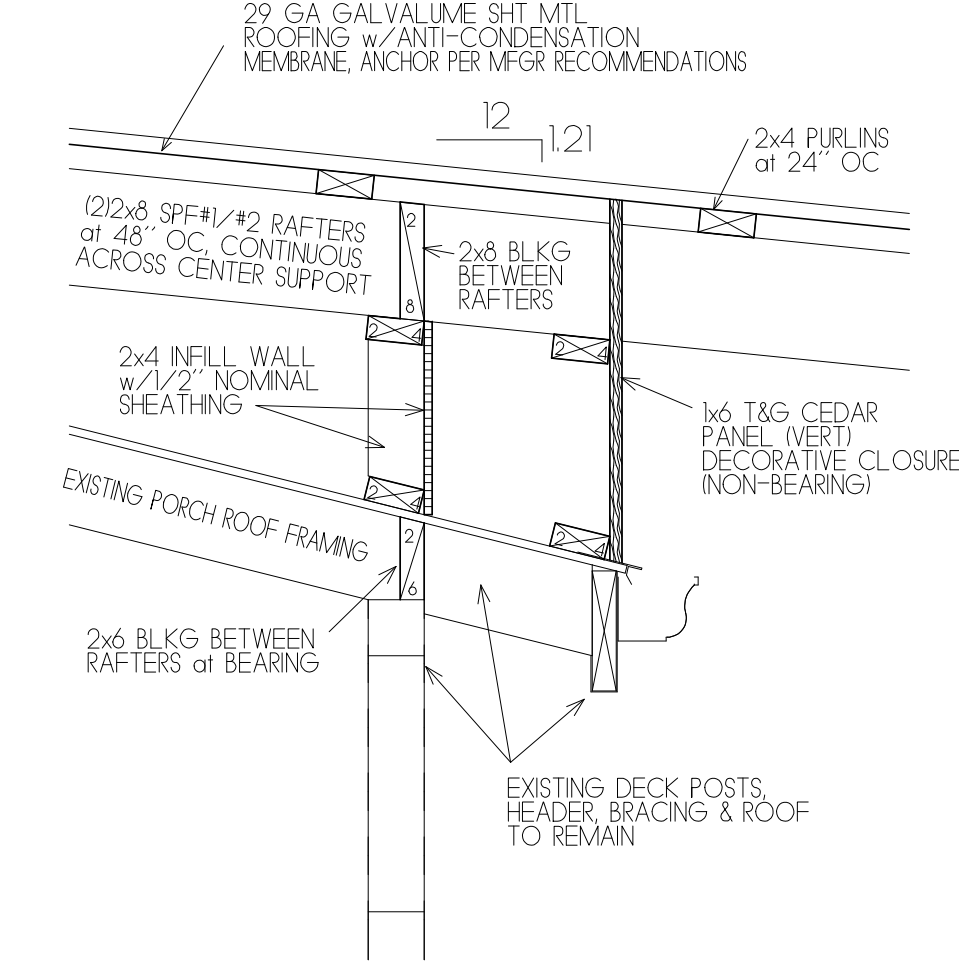
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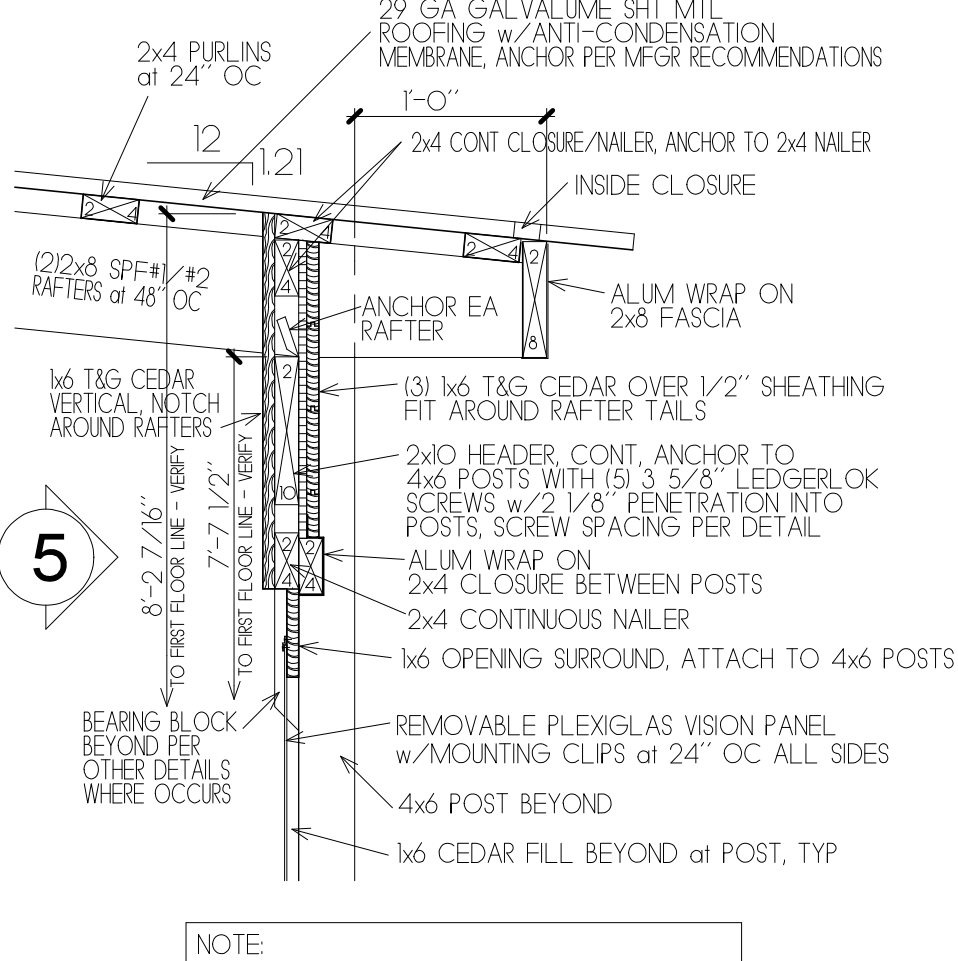
ROOF PLAN



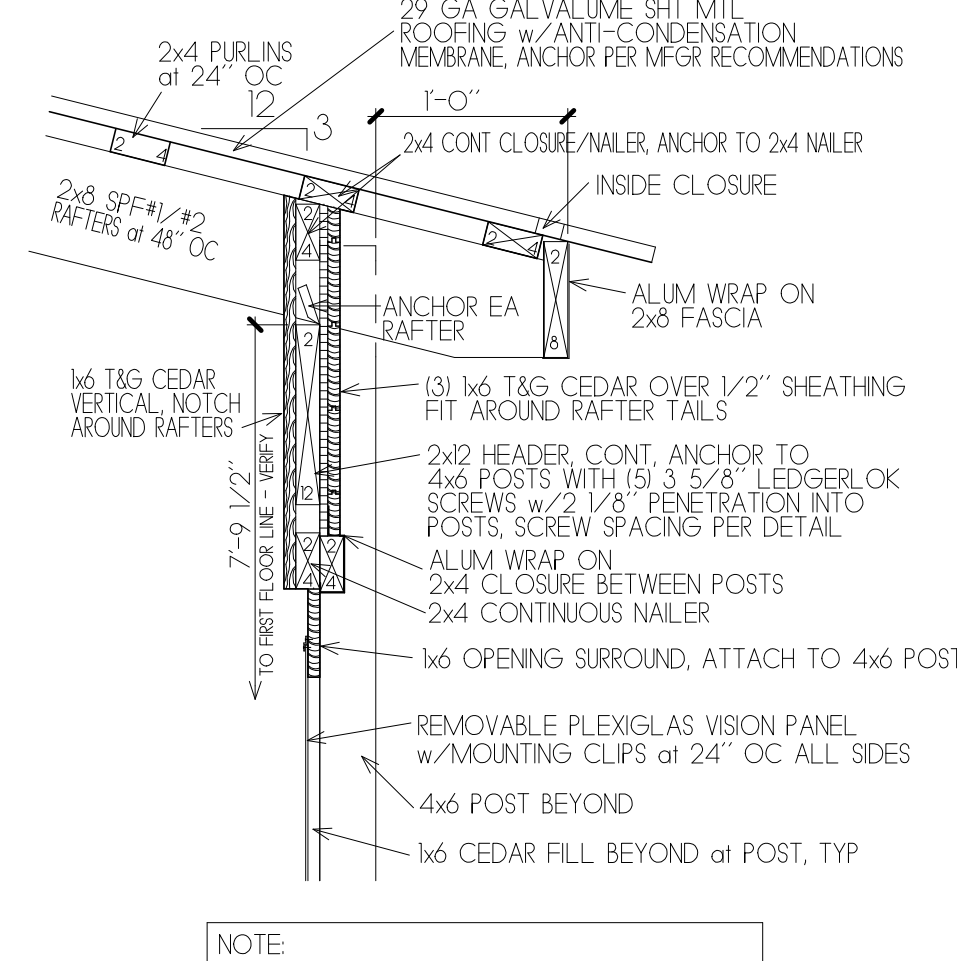
1 RAFTER LEDGER at EXISTING WALL
RR 1/3/25



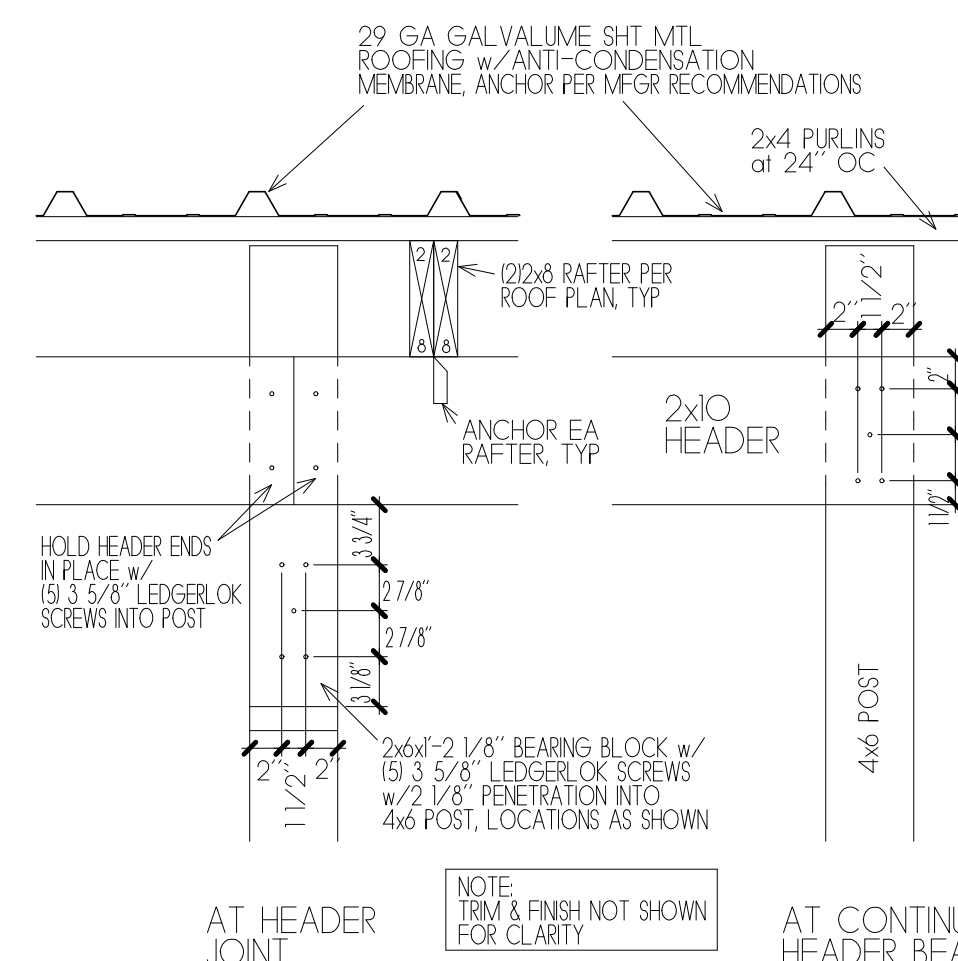
2 INTERMEDIATE RAFTER BEARING
RR 1/3/25



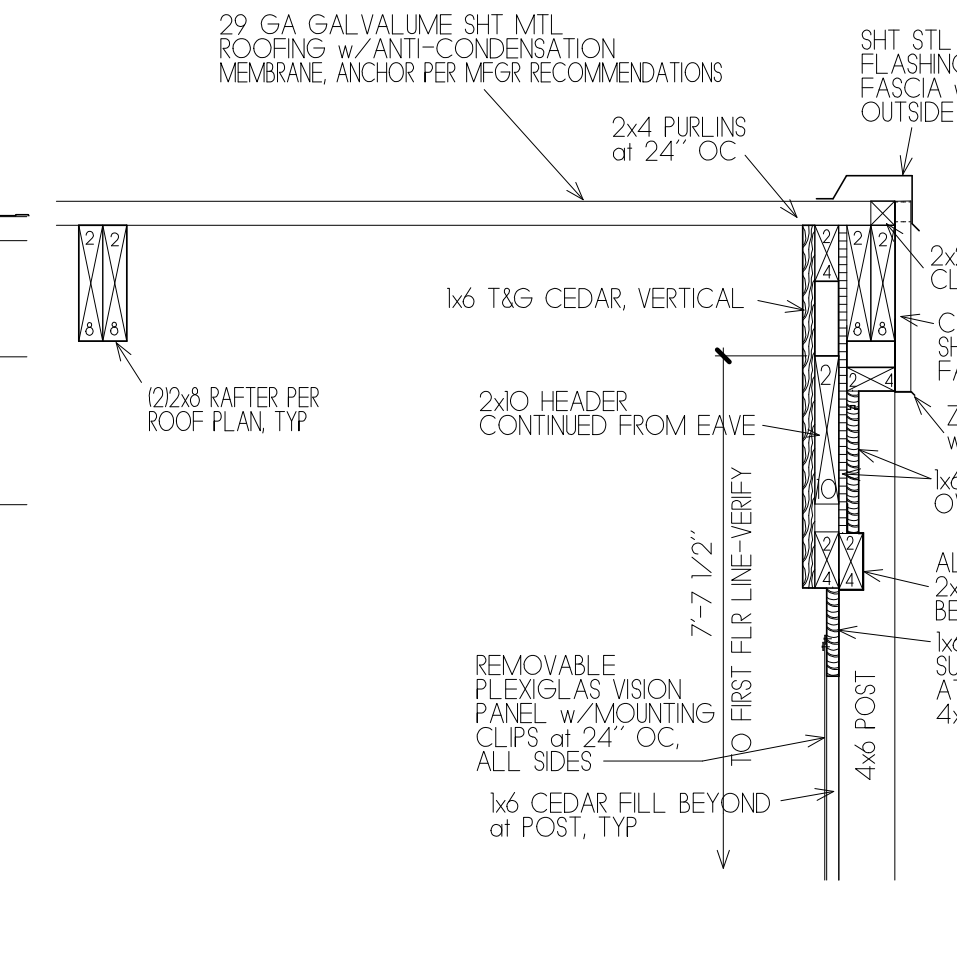
3 EAVE
RR 12/30/24



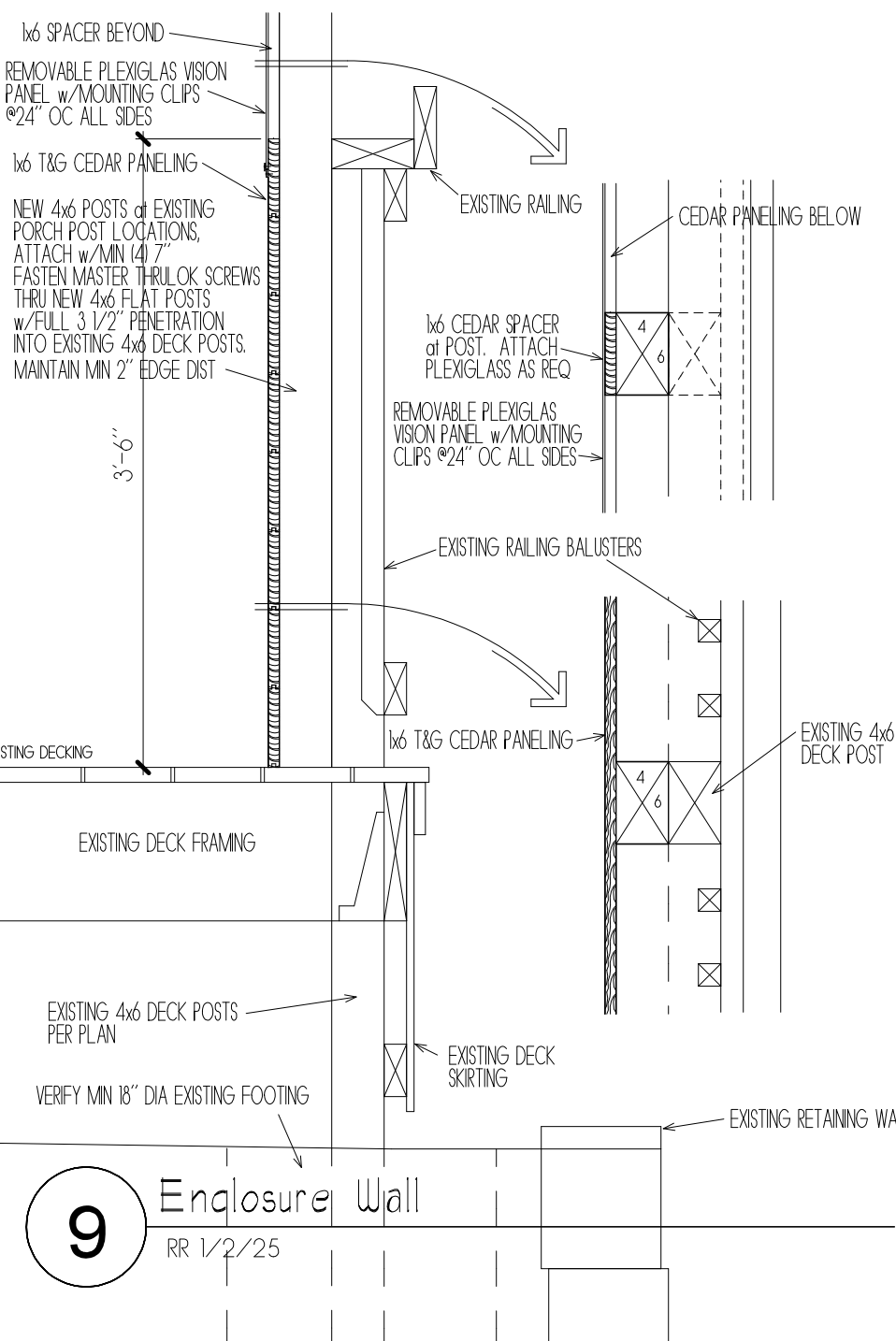
4 EAVE at ROOF RETURN
RR 1/8/25



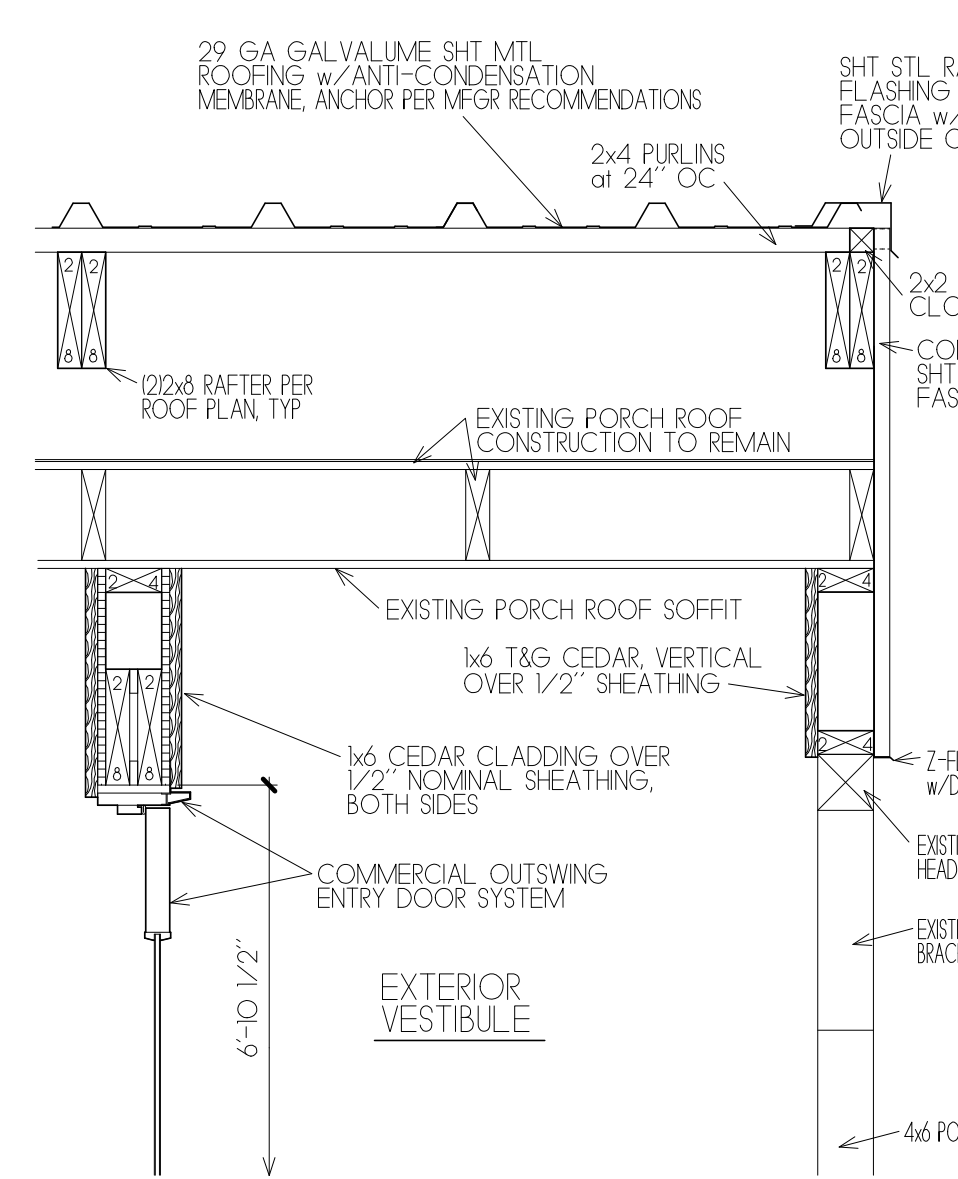
5 HEADER ATTACHMENT
RR 12/31/24



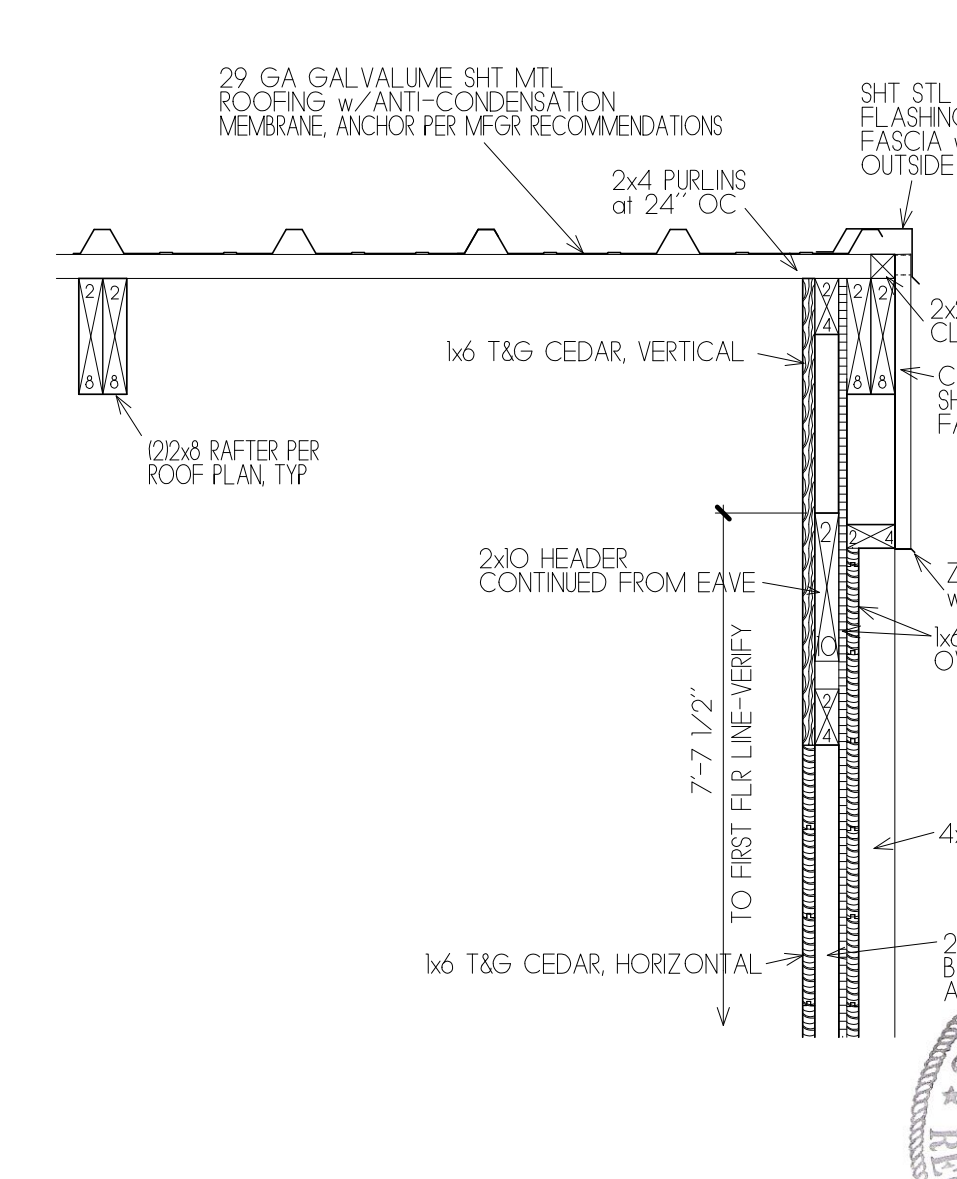
6 RAKE at OPENING
RR 1/3/25



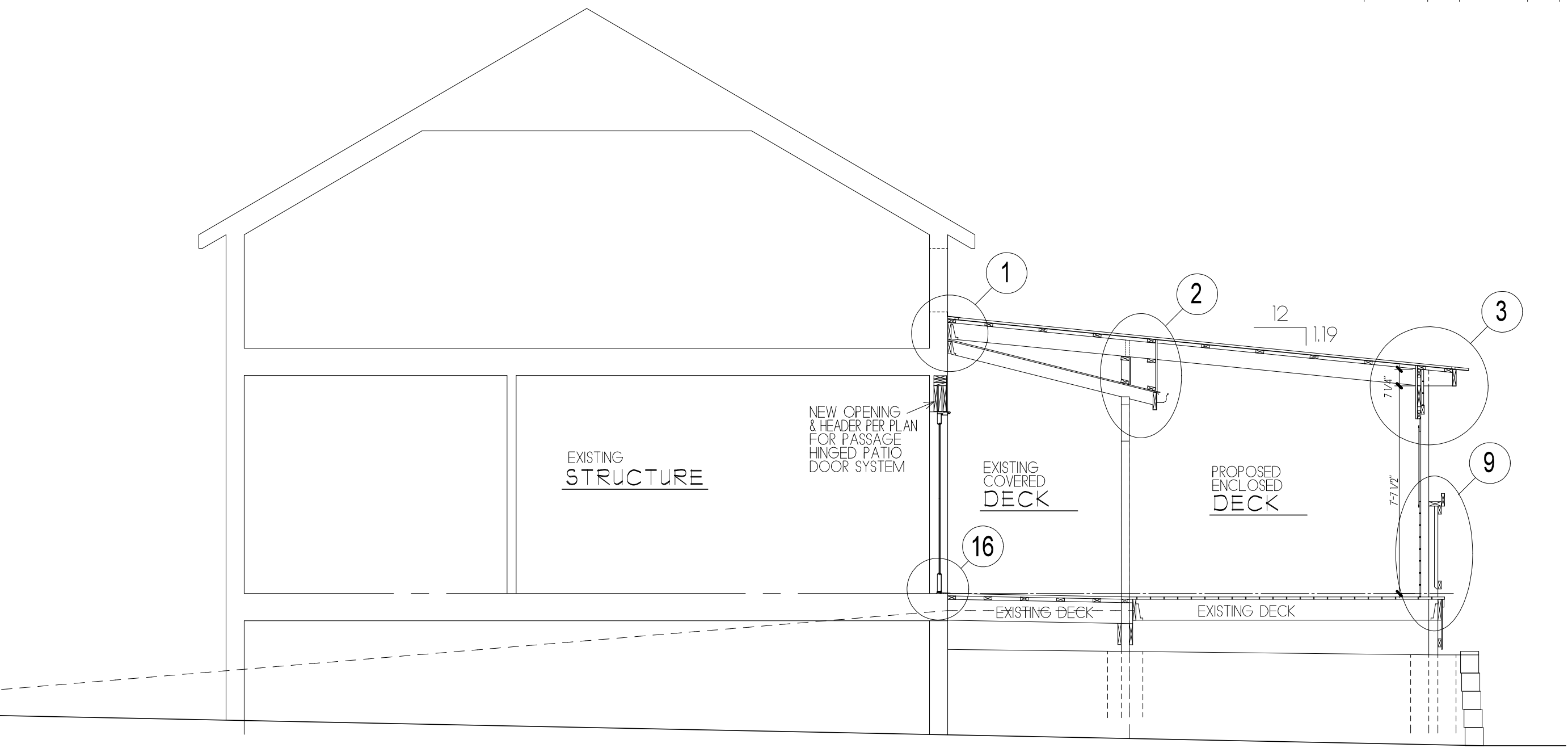
9 Enclosure Wall
RR 1/2/25



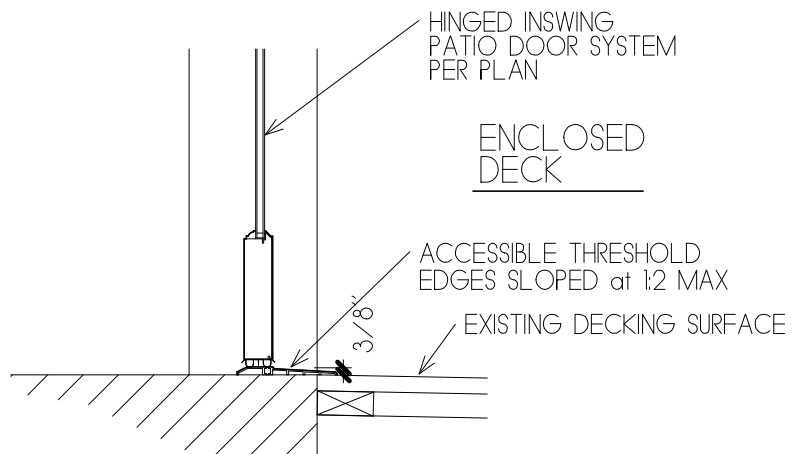
11 RAKE at ENTRANCE
RR 1/8/25



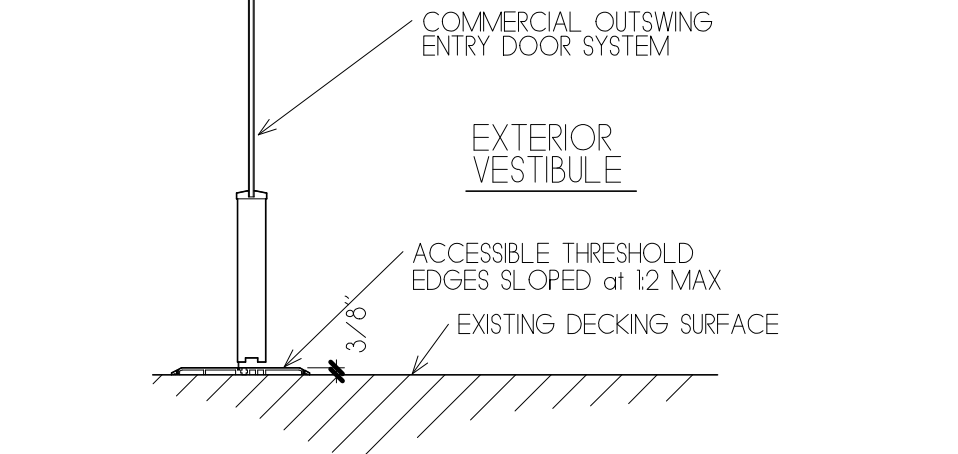
12 RAKE at CLOSED BAY
RR 1/6/25



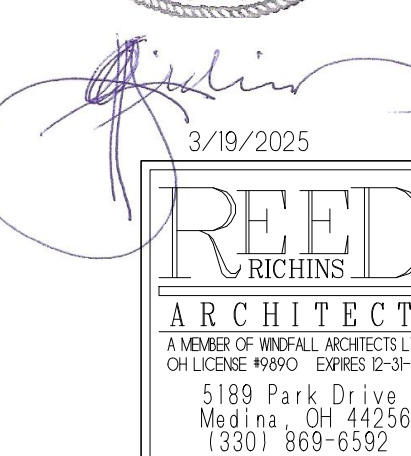
BUILDING SECTION A-A
1/4"=1'-0"



16 THRESHOLD at PASSAGE
RR 1/8/25

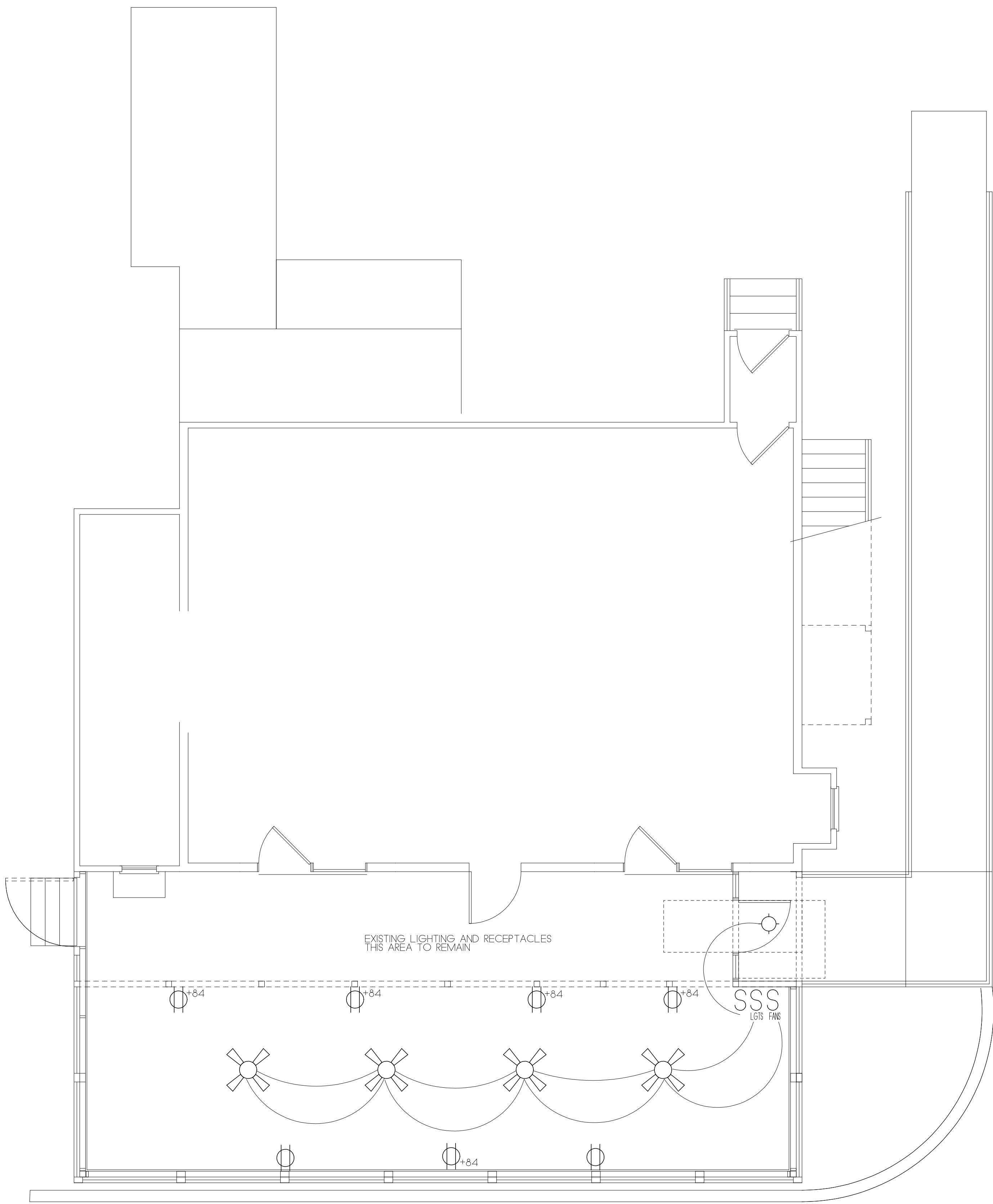


17 THRESHOLD at ENTRANCE
RR 1/8/25



Diner 42 Porch Enclosure
JOB NO. BA-Diner 42
DATE 2/8/25
DRAWN BY RR
APPROVED BY
REVISIONS

SHEET NO.
5



PROPOSED DINING DECK ELECTRICAL LAYOUT

1/4"=1'-0"

NOTES:
1. ELECTRICIAN SHALL VERIFY PANEL CAPACITY FOR NEW LOADS AS SHOWN.
2. ALL ELECTRICAL WORK SHALL CONFORM TO CURRENT NATL ELEC CODE.

ELECTRICAL KEY

- S TOGGLE SWITCH @ 42" AFF
- SURFACE-MOUNT LED
FIXTURE PER OWNER SELECTIONS
- ⊕ CEILING FAN w/LIGHT KIT
PER OWNER SELECTIONS
- ⊞ DUPLEX RECEPTACLE



Glen Reed Richins
3/19/2025
REED
RICHINS

ARCHITECT
A MEMBER OF WEDGALL ARCHITECT LTD
OH LICENSE #9890 EXPRES 12-31-25
5189 Park Drive
Medina OH 44130
(330) 889-6592

Diner 42 Porch Enclosure

JOB NO. BA-Diner 42
DATE 2/6/25
DRAWN BY RR
APPROVED BY
REVISIONS

SHEET NO.

E