




# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number **P25-05**

GENERAL	Date of Application <u>3/20/2025</u>
	Property Location <u>Northwest Corner of Intersection of Wooster-Pike and High Point Drive</u>
	Description of Project _____ <small>The subject parcel is currently undergoing a lot split and will be a 0.89 acre parcel when complete.</small>
	<small>The parcel is east of and adjacent to the soon to be open ACME Fresh Market. The parcel is south of and adjacent to a township parcel that has been approved for a Chipotle Restaurant. The parcel will be sharing an entrance with the Chipotle Restaurant to the north. The parcel will be sharing the existing storm pond to the north west of the ACME building.</small>
CONTACT INFORMATION	<b>Applicant</b> Name <u>Erick Allen</u> Address <u>31913 Cook Road</u> City <u>N. Ridgeville</u> State <u>OH</u> Zip <u>44039</u> Phone <u>(330) 697-0379</u> Email <u>erick@alberandrice.net</u>
	<b>Property Owner</b> Name <u>Albrecht Incorporated</u> Address <u>17 S. Main Street</u> City <u>Akron</u> State <u>OH</u> Zip <u>44308</u> Phone <u>(330) 344-3107</u> Email _____
APPLICATION TYPE	<b>Planning Commission</b> Site Plan <input checked="" type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> TC-OV <input type="checkbox"/> Other <input type="checkbox"/> <b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/> <b>Board of Zoning Appeals</b> Variance <input type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application. Signature <u></u> Date <u>3/19/2025</u>
OFFICIAL USE	Zoning District <u>C-3/SPD-1</u> Fee (See Fee Sheet) \$ <u>225</u> Meeting Date <u>4/10/25</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

## P25-05 Starbucks Final Site Plan

Property Owner: Albrecht Incorporated  
Applicant: Erick Allen  
Location: Northwest Corner of Wooster Pike and High Point Drive (Parcel #028-19C-20-153)  
Zoning: SPD-1 (Special Planning District) with Underlying C-3 (General Commercial)  
Request: Final Site Plan approval for a restaurant with a drive through

### **LOCATION AND SURROUNDING USES**

The subject property is composed of 11.7 acres located on the northwest corner of Wooster Pike and High Point Drive. The site itself is 0.89 acres in the southeast corner of the subject property. Land adjacent to the site contains the following uses and zoning:

- **North** – Future Restaurant (Montville Twp.)
- **West** – Future Grocery Store (SPD-1)
- **South** – Assisted Living (C-3)
- **East** – Restaurant (Montville Twp.)



### **BACKGROUND & PROPOSED APPLICATION**

The site is located in Special Planning District #1 (SPD-1), which requires a three-step approval process:

1. Conceptual Plan and Development Guidelines – In January of 1999, Special Planning District #1 (SPD-1) was established by Ordinance 249-98. The Ordinance included a Conceptual Plan of the approximately 42-acre site and Development Guidelines, which supersede the underlying C-3 district standards.
2. Preliminary Plan – The Planning Commission granted Preliminary Plan approval for the grocery store, future expansion, and outlot in November of 2023.
3. Final Site Plan – The current Final Site Plan application requests the development of 0.89 acres of the site for a 2,460 sq. ft. restaurant with a drive through.

## **USES**

The applicant is proposing a restaurant with a drive through, which is a permitted use in Subdistrict "A" of SPD-1.

## **DEVELOPMENT STANDARDS**

The proposed site is subject to the following SPD-1 Development Guidelines:

Standard	Required	Proposed	Standard	Required	Proposed
Min. Front Setback	None	57 ft.	Max. Building Height	35 ft.	20 ft.
Min. Side Setback	None	97 ft.	Floor Area Ratio	35%	6%
Min. Rear Setback	None	63 ft.	Impervious Surface Ratio	75%	60%
Max. Building Size	15,000 sq. ft.	2,460 sq. ft.			

The proposed project meets the above Development Guidelines.

## **CIRCULATION, ACCESS, AND PARKING**

**Access** – The site accesses a service drive to the west of the property running parallel to South Court Street/Wooster Pike. The access drive is shared with the outlot to the north, which is planned for a Chipotle restaurant in Montville Township.

**Circulation** – The north side of the site has two-way circulation accessing parking spaces. The west, south, and east sides of the site are one-way circulation to accommodate a drive through.

**Parking Dimensions** – Ninety-degree parking spaces must be 9 ft. in width and 19 ft. in length with a 24 ft. wide drive aisle. The proposed site meets this standard.

**Required Off-Street Spaces** – Per Section 1145.04(e), a restaurant use requires a minimum of 1 parking space for every 2 seats. The restaurant will have 30 seats requiring 15 parking spaces.

In order to prevent excessive lot coverage, the minimum number of parking spaces may be exceeded by 20%, or 18 spaces, "unless good cause can be shown by the applicant and approved by the Planning Commission".

The proposed site incorporates 24 parking spaces, which exceeds the maximum indicated. However, the proposed parking lot appears to be appropriate for a Starbucks restaurant, which can experience higher than average parking demand at peak times.

**Drive Through** – Section 1155.10 requires that drive throughs must be located on an arterial road and have a minimum of 5 stacking spaces. The drive through complies with these requirements.

**Sidewalks** – Public sidewalks are required along street rights-of-way and a private sidewalk must connect the building to the public sidewalk. Sidewalks are shown as required.



### **LANDSCAPING, SCREENING, AND BUFFERING**

Parking Lot Landscaping – Section C.3(3) of the Development Guidelines states landscape islands must be used to divide parking areas. For the subject site, islands must be provided every 16 to 18 spaces. Landscaping must also be provided between parking areas and rights-of-way.

The Landscape Plan indicates landscaping islands within the parking lot every 13 spaces, or less. In addition, landscaping is provided between the parking lot and South Court Street/Wooster Pike.

Refuse Storage Area – Section C.5(9) of the Development Guidelines states that refuse storage areas shall be screened from public view by at least a 6 ft. high solid fence/wall. A refuse storage is located in the northwest corner of the site with an 8 ft. tall CMU wall painted to match the principal building.

### **UTILITIES AND STORM WATER**

The site has access to sanitary sewer service and public water, which will be extended to the west of the site. The site was initially developed with storm water basins designed to be sufficient for the entire development.

### **ENGINEERING AND FIRE DEPARTMENT COMMENTS**

The Engineering and Fire Departments have no comments at this time.

### **BUILDING ELEVATIONS**

Proposed Section C.5 of the Development Guidelines for the SPD includes numerous design standards, including:

- (11) Once an architectural theme is initially established for Subdistricts “A” and “B”, later phases of buildings constructed should reflect the same architectural theme.
- (12) Facades with street frontage or with public entrances shall incorporate a mix of exterior materials, varied rooflines, and design features. Design features include, but are not limited to, windows, wall projections, awnings, use of brick or stone, material or color accents, and decorative lighting fixtures. Facades with street frontage without design features are not permitted. An example of a permitted facade is found below in Figure 1:



**Figure 1**

- (14) A front facade shall be architecturally emphasized, although all sides of a building should be architecturally consistent with the front facade.

The building will be primarily clad in brick with wood panel accents. The proposed brick will be similar to brick used on the Acme Fresh Market. Facades with street frontage or with public entrances incorporate design features including a drive through wall projection with an awning (south) and a seating area with an awning (north and east). Vertical sconce lights are also located on the north and south sides of the building.



## **LIGHTING**

A lighting plan has been submitted with a compliant lighting height (25 ft.), light fixture detail (full cut off), and photometric plan.

## **SITE PLAN REVIEW STANDARDS**

The Planning Commission's review and action shall be based on the following Standards per Section 1109.02(c):

- (1) The site plan shows that a proper relationship does exist between thoroughfares, service roads, driveways and parking areas to encourage pedestrian and vehicular traffic safety.
- (2) All the development features including the principal buildings, open spaces, service roads, driveways and parking areas are so located and related as to minimize the possibility of any adverse effects upon adjacent development.
- (3) The site plan includes adequate provision for the screening of parking areas, service areas and active recreation areas from surrounding properties by landscaping and/or ornamental walls or fences. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (4) Grading and surface drainage provisions are reviewed and approved by the City Engineer.
- (5) The design and construction standards of all private streets, driveways and parking areas are to be built following approval of plans by the City Engineer according to construction standards specified in the Codified Ordinances.
- (6) Maximum possible privacy for multi-family dwellings and surrounding residential properties shall be provided through good design and use of proper building materials and landscaping. Visual privacy should be provided through structural screening and landscaping treatment. Auditory privacy in multi-family dwellings should be provided through soundproofing. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (7) The architectural design of buildings should be developed with consideration given to the relationship of adjacent development in terms of building height, mass, texture, materials, line and pattern and character.
- (8) Building location and placement should be developed with consideration given to minimizing removal of trees and change of topography. Any trees to be removed which are planted in a public right-of-way or on municipal property shall be reviewed by the Shade Tree Commission.
- (9) In multi-family developments, television and other antennas shall be centralized.
- (10) On-site circulation shall be designed to make possible adequate fire and police protection.
- (11) Off-street parking facilities shall be provided in accordance with Chapter 1145. In large parking areas, visual relief shall be provided through the use of tree planted and landscaped dividers, islands and walkways. In multi-family developments no parking or service areas shall be permitted between any street and the main building. All trees planted shall be as found in specifications approved by the Shade Tree Commission.
- (12) Signs shall be provided in accordance with these Codified Ordinances.
- (13) Any trees planted on site shall be on approved list of Shade Tree Commission and planted in accordance with Commission standards.

## **COMMUNITY DEVELOPMENT DEPARTMENT STAFF RECOMMENDATION**

Staff recommends **approval** of application P25-05 as submitted.

## Andrew Dutton

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**From:** Patrick Patton  
**Sent:** Wednesday, April 2, 2025 4:17 PM  
**To:** Andrew Dutton  
**Subject:** FW: Site Plan Review  
**Attachments:** P25-05 File 3-19-25.pdf; Engineering Checklist for Commercial Site Plan.pdf

Andrew-

My comments for the attached:

1. Please refer to the attached engineering checklist for site plan approval.
2. When this lot is created, the new parcel will be assigned the following address: 1205 South Court Street, Medina, OH 44256

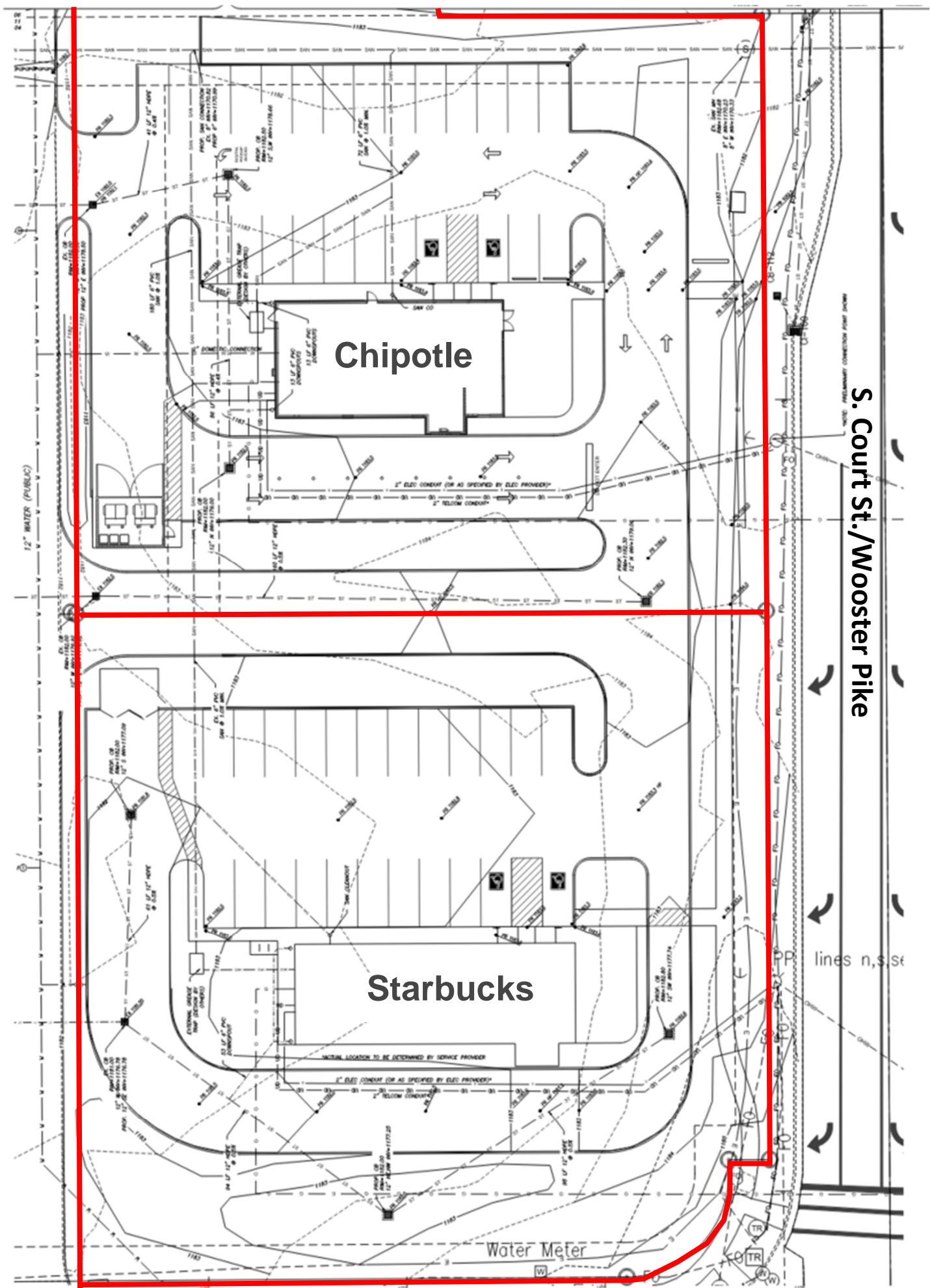
Thank you.

Patrick Patton, PE  
City Engineer  
City of Medina, Ohio

Phone: (330) 721-4721  
Email: [ppatton@medinaoh.org](mailto:ppatton@medinaoh.org)  
Website: [www.medinaoh.org](http://www.medinaoh.org)

Medina City Hall / 132 N. Elmwood Avenue / Medina, Ohio 44256





High Point Dr.

S. Court St./Wooster Pike



1. PROPOSED ELEVATIONS SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE ENGINEER. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED AND TESTED IN ACCORDANCE WITH THE CITY OF MEDINA STANDARD SPECIFICATIONS FOR PAVEMENT AND ALL OTHER EXISTING IMPROVEMENTS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO CITY, ODOT, AND COUNTY SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED. ALL BEARINGS ARE TO AN ASSUMED MERIDIAN AND ARE USED TO DENOTE ANGLES ONLY. FOR ACTUAL BUILDING DIMENSIONS REFER TO ARCHITECTURAL AND/OR STRUCTURAL PLANS. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT U.N.O.
3. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTROLLING SOIL SEDIMENT POLLUTION FROM THE SITE AND THE PROPER PLACEMENT AND PROTECTION OF EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLANS, FOR STORMWATER POLLUTION AND PREVENTION SPECIFICATIONS AND DETAILS, REFER TO OODR "RAINWATER AND LAND DEVELOPMENT MANUAL", 2006 EDITION.
4. UTILITIES SHOWN WERE TAKEN FROM AVAILABLE EXISTING UTILITY DRAWINGS AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION SERVICES AT (800) 362-2764 AT LEAST 48 HRS PRIOR TO EXCAVATING. ANY UTILITIES FOUND DURING EXCAVATION AND NOT SHOWN ON PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE EXACT LOCATION, ELEVATION AND COMPLETENESS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY SITE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS.
6. ALL PROPOSED GRASS AREAS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FINAL GRADING OF THE SITE. PAVED AREAS SHALL BE KEPT CLEAN OF MUD AND DIRT. TEMPORARY STABILIZED DISTURBED AREAS THAT WILL REMAIN IDLE FOR 14 DAYS OR LONGER WITHIN 7 DAYS OF LAST DISTURBANCE OR WITHIN 2 DAYS FOR AREAS WITHIN 50' OF A STREAM.
7. PREPARE SUBGRADE AND PLACE FILL IN ACCORDANCE WITH ODOT 203 AND AS APPROVED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A QUALIFIED GEOTECHNICAL ENGINEER ON SITE TO OBSERVE EARTHWORK AND PERFORM ALL SOIL TESTS AS NECESSARY TO GUARANTEE COMPLIANCE WITH THE SPECIFICATIONS.
8. UNLESS NOTED OTHERWISE, SMOOTH LINE CORRUGATED PLASTIC PIPE (HDPE) SHALL BE HDPE ADS N-12, HANCOR SURE-LOK OR APPROVED EQUAL. PVC PIPE (PVC) SHALL BE ASTM D-3034 SDR 35 UNLESS OTHERWISE NOTED. REINFORCED CONCRETE PIPE (RCP) SHALL BE 18" RUBBER GASKET JOINT, CLASS IV AND CONFORM TO ASTM C-76 AND A.C.D.O.T. 706.11. ELLIPTICAL CONCRETE PIPE SHALL BE CLASS III-3 CONFORM TO ASTM C-507 AND O.D.O.T. 706.04. DUCTILE IRON PIPE (DIP) SHALL BE AWWA C-151-76 CLASS 52.
9. ALL STORM SEWER CONDUIT SHALL BE AS FOLLOWS: SMOOTH LINE CORRUGATED PLASTIC PIPE (HDPE) UNLESS NOTED OTHERWISE.
10. THE STANDARD SPECIFICATIONS OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION (CURRENT EDITION), INCLUDING CHANGES LISTED ON THE DRAWINGS AND THE CITY OF MEDINA STANDARDS SHALL GOVERN THIS IMPROVEMENT.

- ALL CONTRACTORS COMPLETING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. PLEASE CONTACT THE CITY OF MEDINA BUILDING DEPARTMENT AT (330) 722-9030 FOR DETAILS ON THE REGISTRATION PROCESS.
- THE CONTRACTOR MUST PROVIDE THE CITY ENGINEER WITH A MINIMUM OF FORTY-EIGHT (48) HOUR NOTICE OF ANY CONFLICTS CONSTRUCTION OF THIS PROJECT MAY HAVE WITH THE TRAFFIC FLOW ON HIGHTPOINT DRIVE, SOUTH COURT STREET OR MAST PARKWAY.
- ALL WORK WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENT AREAS MUST BE INSPECTED BY THE CITY OF MEDINA ENGINEERING DEPARTMENT. PLEASE CONTACT THE CITY ENGINEER AT (330) 723-3846 TO SCHEDULE INSPECTIONS.
- A MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED A MINIMUM OF 72 HOURS IN ADVANCE OF ANY WORK WITHIN THE CITY RIGHT OF WAY THAT WILL AFFECT TRAFFIC ON HIGHTPOINT DRIVE, SOUTH COURT STREET OR MAST PARKWAY. THE PLAN MUST BE REVIEWED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE START OF ANY WORK.
- LIGHTS, SIGNS AND BARRICADES MUST BE PROVIDED BY THE CONTRACTOR FOR ALL MAINTENANCE OF TRAFFIC OPERATIONS FOR ALL WORK WITHIN THE CITY RIGHT OF WAY.
- ANY NECESSARY DETOURS INCLUDED WITHIN THE APPROVED MAINTENANCE OF TRAFFIC PLAN MUST BE SETUP AND MAINTAINED BY THE CONTRACTOR.
- NO OPEN TRENCHES WITHIN THE ROADWAY WILL BE PERMITTED WHILE WORK IS NOT OCCURRING. ALL TRENCHES SHALL BE BACKFILLED OR PLATED AS NECESSARY TO PROVIDE A SAFE ENVIRONMENT FOR THE TRAVELING PUBLIC.
- AT LEAST ONE LANE OF TRAFFIC MUST BE MAINTAINED ALONG HIGHTPOINT DRIVE BETWEEN THE HOURS OF 5 AM TO 9 PM.

- ALL STORM SEWER INSTALLED WITHIN THE PUBLIC RIGHT OF WAY AND EASEMENT AREAS MUST BE INSTALLED PER THE CITY OF MEDINA STANDARD DETAILS. MATERIAL CUT SHEETS AND SHOP DRAWINGS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL STORM SEWER INSTALLATION WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENT AREAS MUST BE INSPECTED BY THE CITY OF MEDINA ENGINEERING DEPARTMENT. PLEASE CONTACT THE CITY ENGINEER AT (330) 723-3846 TO SCHEDULE INSPECTIONS.

- A SHOP DRAWING OF THE PROPOSED WATER VAULT SHALL BE SUBMITTED TO THE MEDINA CITY ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL FURNISH ALL PIPING AND APPURTENANCES (INCLUDING BACKFLOW PREVENTION DEVICE AND WATER METER VAULT) AS NECESSARY TO COMPLETE THE NEW WATER MAIN AND WATER SERVICE INSTALLATION AS SHOWN ON THE PLANS ALONG WITH ANY RESTORATION WORK REQUIRED TO COMPLETE THE EXISTING LINE. INSTALLATION OF THE CITY OF MEDINA WATER DEPARTMENT WILL MAKE THE PROPOSED TAP TO THE EXISTING WATER MAIN ONCE ALL FEES HAVE BEEN PAID. PLEASE CONTACT THE WATER DEPARTMENT AT (330) 722-9081 REGARDING FEE INFORMATION AND FOR WORK SCHEDULING.
- ALL PROPOSED WATER MAIN TO BE INSTALLED WITHIN THE EASEMENT AREAS IS CONSIDERED PUBLIC WATER MAIN AND MUST BE INSPECTED DURING INSTALLATION BY THE CITY OF MEDINA. PLEASE CONTACT THE CITY OF MEDINA AT (330) 722-9034 TO SCHEDULE INSPECTIONS.
- ALL WATER MAIN AND APPURTENANCE TO BE INSTALLED WITHIN THE EASEMENT AREAS MUST BE PER CITY OF MEDINA SPECIFICATIONS. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR WILL BE REQUIRED TO PROVIDE THE CITY ENGINEER WITH MATERIAL CUTS SHEETS FOR ALL MATERIAL TO BE USED FOR REVIEW AND APPROVAL.
- PRESSURE TESTING AND BACTERIA TESTING WILL BE REQUIRED FOR ALL NEW PUBLIC WATER MAIN INSTALLED WITHIN EASEMENT AREAS WITH THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY EQUIPMENT AND PERSONNEL TO COMPLETE HYDROSTATIC TESTING. BACTERIA TESTING WILL BE COMPLETED BY THE CITY AND BILLED TO THE OWNER.
- ALL BACKFLOW PREVENTION DEVICES PROVIDED MUST BE ON THE OHIO EPA LIST OF APPROVED BACKFLOW PREVENTION DEVICES. PLEASE CONTACT THE CITY OF MEDINA DEPARTMENT AT (33) 721-8417 TO COORDINATE THE BACKFLOW DEVICE INSTALLATION.
- ALL FIRE SERVICE LINES MUST BE INSTALLED AND TESTED TO NFPA REQUIREMENTS. PLEASE CONTACT FIRE MARSHAL MAUR PRUMLEY (330) 725-1772 FOR DETAILS AND TO SCHEDULE INSPECTIONS AND TESTING.
- THE UNDERGROUND FIRE SERVICE LINE FOR THE BUILDING SPRINKLER SYSTEM AND THE FIRE DEPARTMENT CONNECTION NEED TO BE FINISHED UP TO THE RISER IN THE BUILDING.

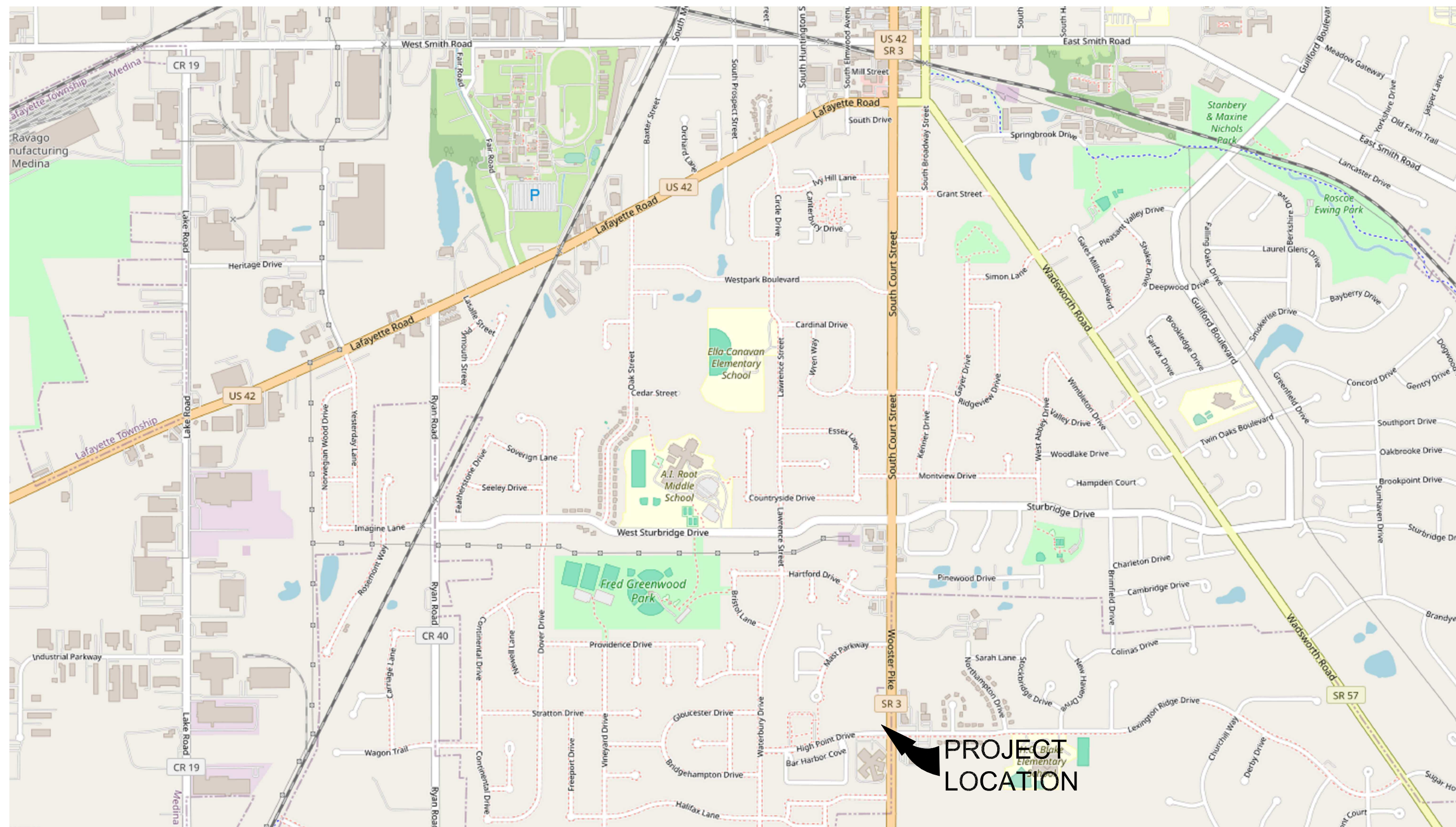
- SEE SANITARY GENERAL NOTES SHEET C6.7

MARCH 2025

ALBRECHT INCORPORATED  
17 SOUTH MAIN STREET, SUITE 401  
AKRON, OH 44308  
CONTACT: A.J. SANDS, P.E.

ALBER AND RICE, INC.  
31913 COOK ROAD  
NORTH RIDGEVILLE, OH 44039  
(216) 252-7840  
CONTACT: GREG ALBER, P.E.

ALBER AND RICE, INC.  
31913 COOK ROAD  
NORTH RIDGEVILLE, OH 44039  
CONTACT: JAMI KING, P.S.  
(216) 252-7840



NO SCALE

NORTH 

CITY OF MEDINA  
MEDINA CITY HALL  
132 NORTH ELMWOOD AVE  
MEDINA, OH 44256  
(330) 722-9081

MEDINA COUNTY SANITARY ENGINEER  
791 W SMITH ROAD  
MEDINA, OH 44256  
(330) 723-9585

MEDINA COUNTY SANITARY ENGINEER  
791 W SMITH ROAD  
MEDINA, OH 44256  
(330) 723-9585

FIRST ENERGY - OHIO EDISON  
1-800-633-4766

COLUMBIA GAS OF OHIO  
1-800-344-4077

ARMSTRONG  
(330) 723-3536  
FRONTIER COMMUNICATIONS  
1-877-462-8188


DISH NETWORK  
1-833-450-8651

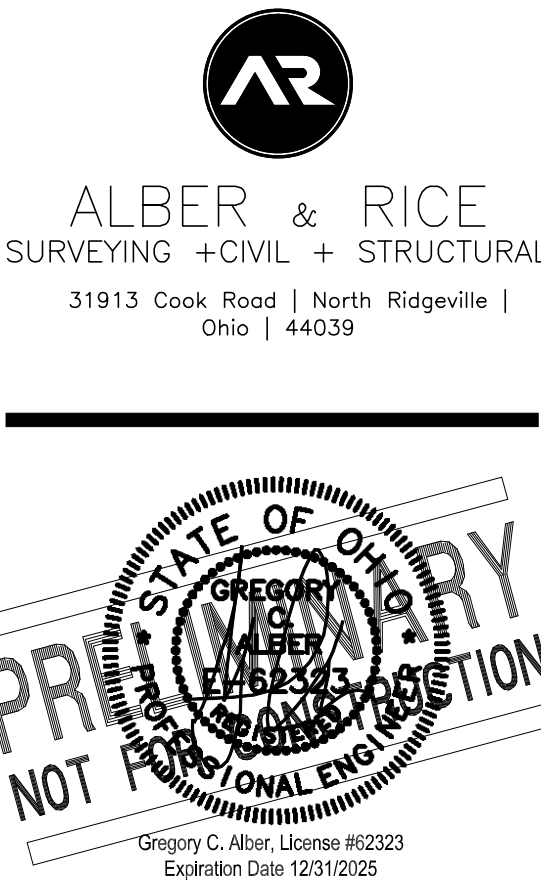
AT&T SERVICES  
1-833-864-6597

DIRECT TV  
1-855-977-8993

c0.1	TITLE SHEET
c1.1	EXISTING CONDITIONS
c2.1	SITE LAYOUT & PAVEMENT
c3.1	SITE UTILITY LAYOUT
c4.1	SITE GRADING & SWPPP

PROPOSED

	UTILITY POLE		UTILITY POLE
	LIGHT POLE		LIGHT POLE
	GUY WIRE		CLEAN OUT
	CLEAN OUT		WATER VALVE
	WATER VALVE		WATER METER
	WATER METER		GAS VALVE
	GAS VALVE		GAS METER
	GAS METER		CATCH BASIN
	CATCH BASIN		STORM MANHOLE
	STORM MANHOLE		SANITARY MANHOLE
	SANITARY MANHOLE		HYDRANT
	HYDRANT		SPOT ELEVATION (PLUS 700') TC=TOP OF CURB BC=BOTTOM OF CURB HP=HIGH POINT
	TELEPHONE MANHOLE		
	ELECTRIC MANHOLE		
	WATER VAULT		
	MONUMENT BOX		602 CONTOUR
			WATER LINE
			SANITARY SEWER
			STORM SEWER
			PERFORATED UNDERDRAIN
			GAS LINE
			ELECTRIC



STARBUCKS RESTAURANT  
NORTHWEST CORNER OF INTERSECTION OF  
WOOSTER PIKE AND HIGH POINT DRIVE  
MEDINA, OH

[illegible]

SHEET NO. \_\_\_\_\_

TITLE SHEET

c0.1





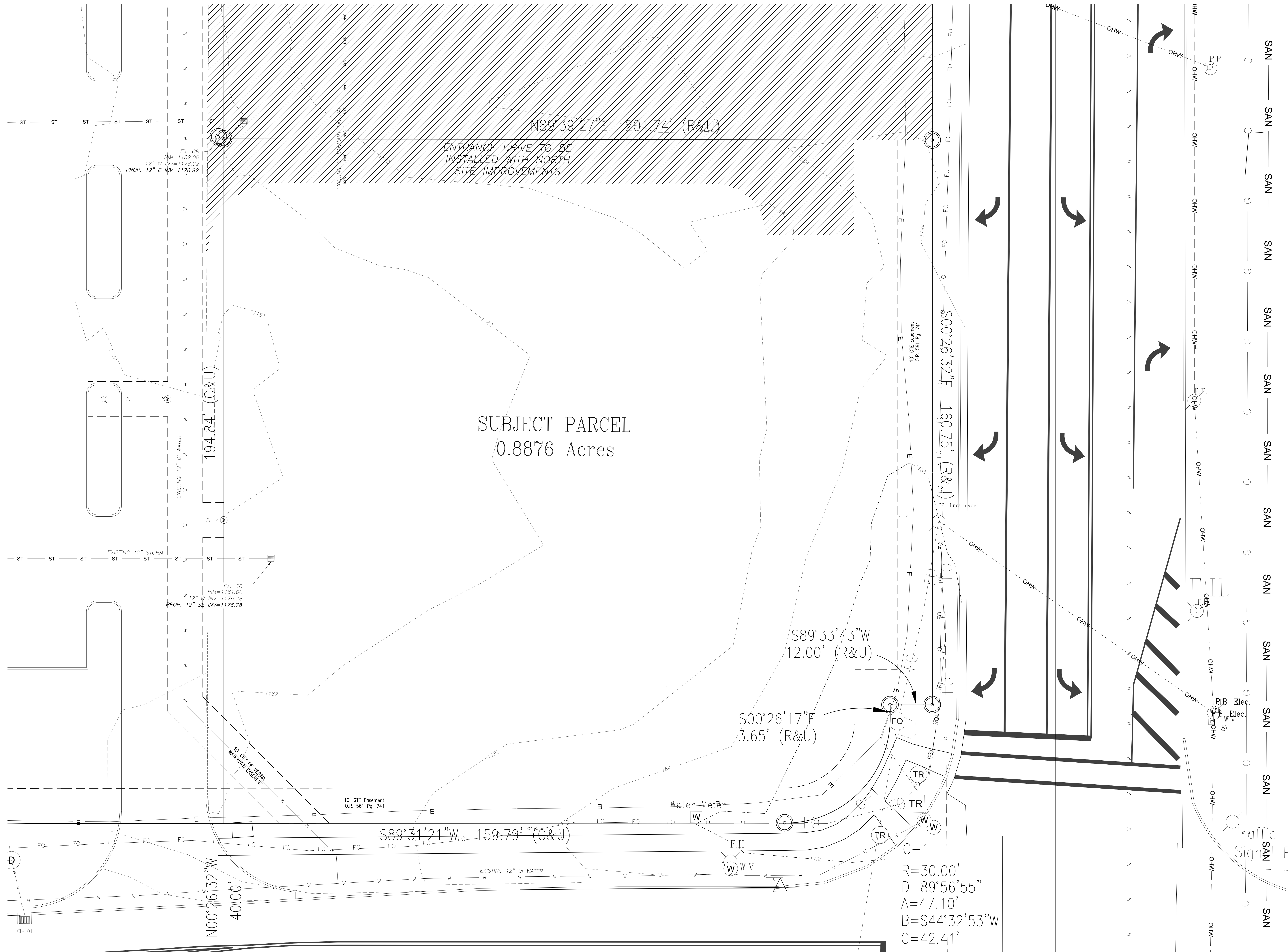
STARBUCKS RESTAURANT  
NORTHWEST CORNER OF INTERSECTION OF  
WOOSTER PIKE AND HIGH POINT DRIVE  
MEDINA, OH

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SHEET NO.

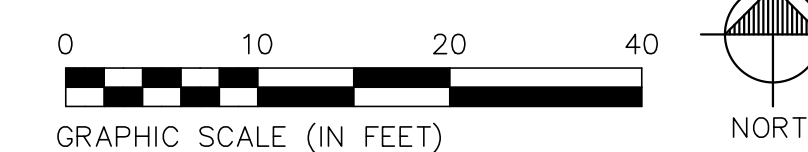
EXISTING CONDITONS

C1.1



## EXISTING CONDITIONS

SCALE 1" = 10'









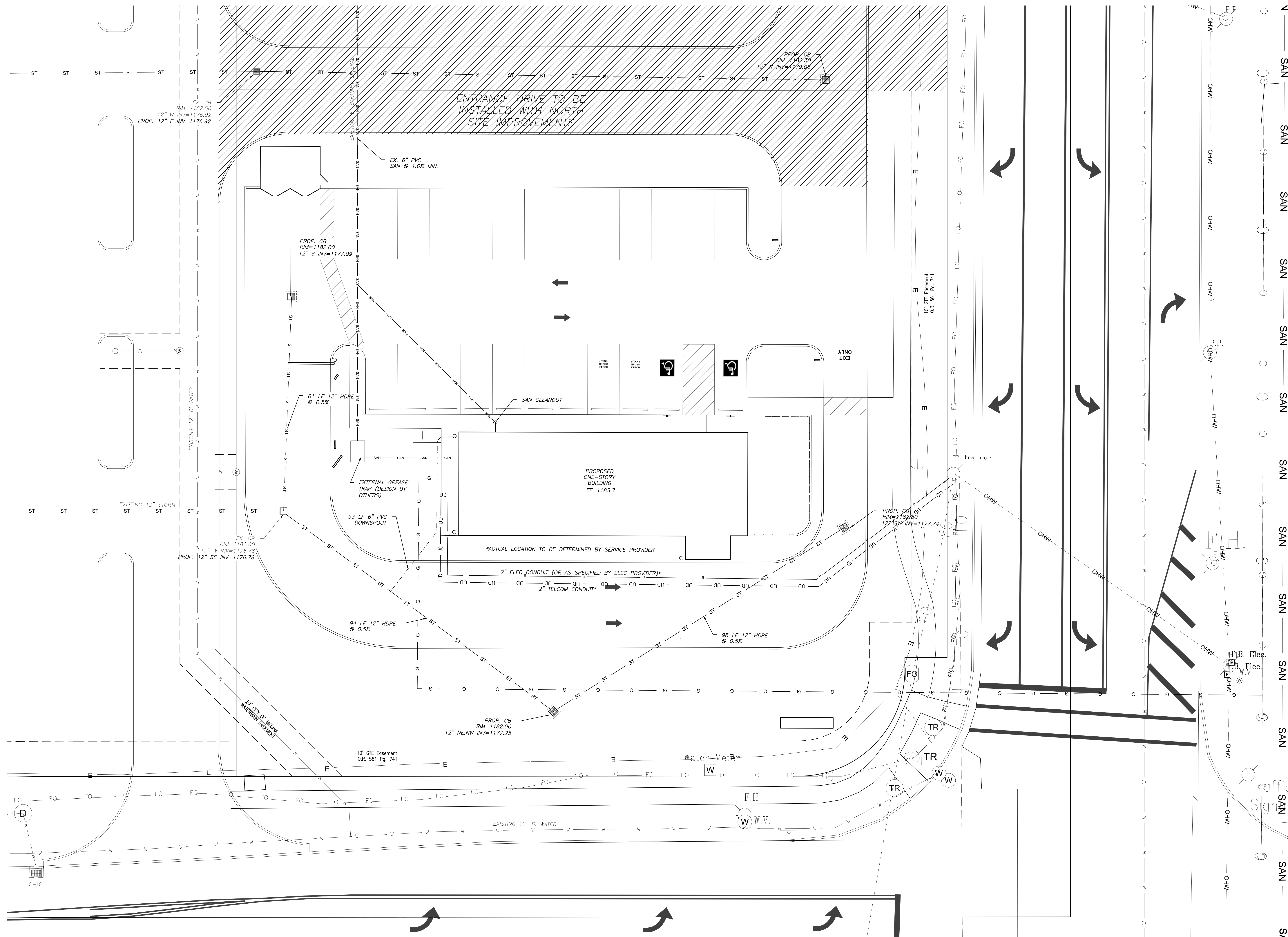
STARBUCKS RESTAURANT  
NORTHWEST CORNER OF INTERSECTION OF  
WOOSTER PIKE AND HIGH POINT DRIVE  
MEDINA, OH

[illegible]

SHEET NO. \_\_\_\_\_

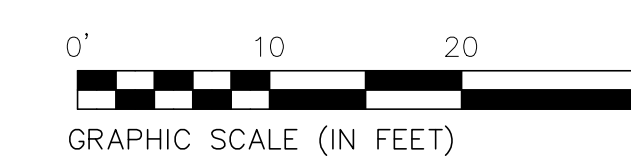
UTILITY LAYOUT

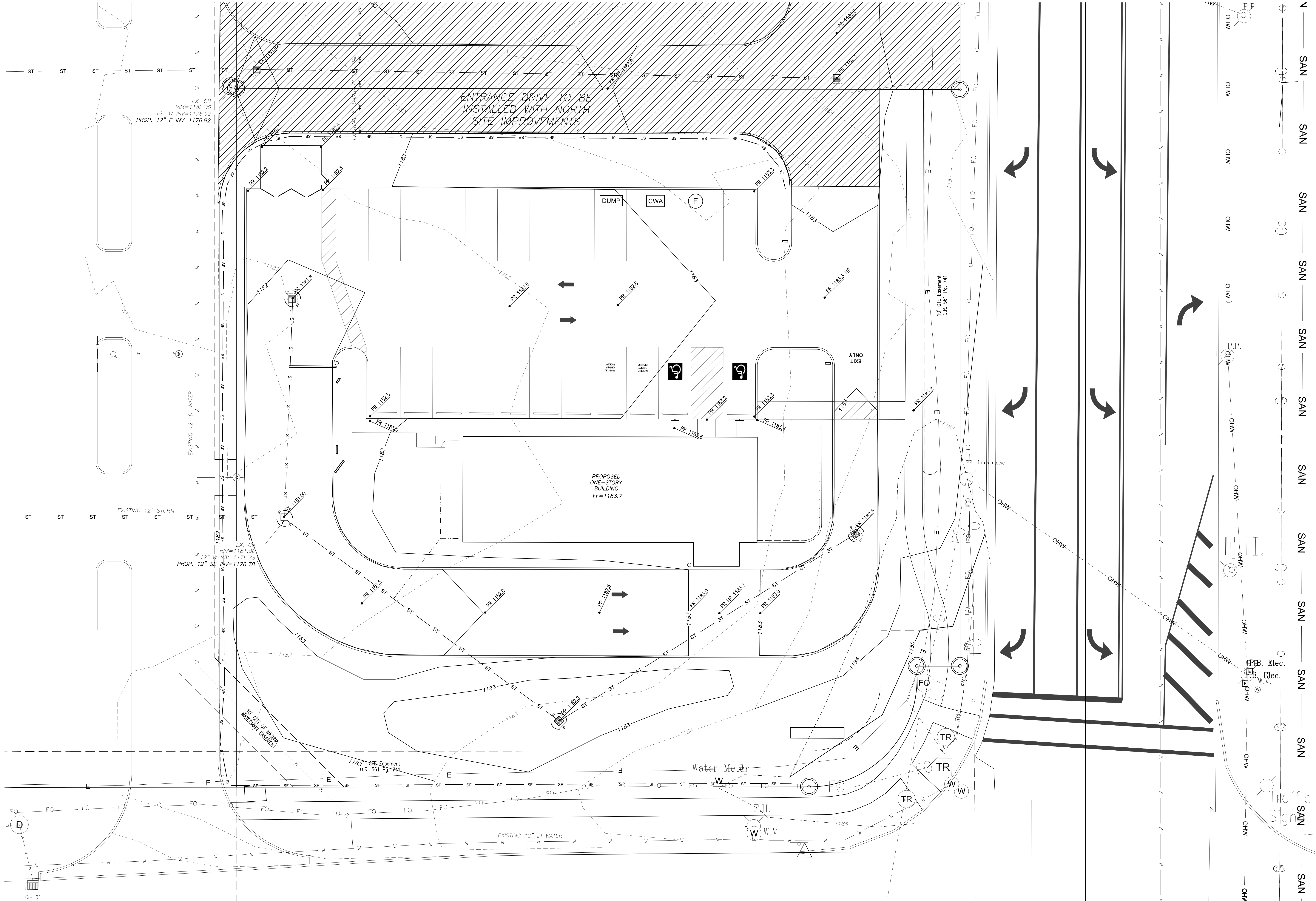
c3.1



## SITE UTILITY LAYOUT

SCALE 1" = 10'





- SWP3 LEGEND:
- CONSTRUCTION LIMITS
  - INLET PROTECTION
  - SILT FENCE OR 8" FILTER SOCK
  - DUMP CONSTRUCTION DUMPSTER
  - CWA TEMPORARY CONCRETE WASHOUT FACILITY
  - F VEHICLE FUELING AREA

SITE GRADING & SWPPP PLAN

SCALE 1" = 10'



ALBER & RICE  
SURVEYING + CIVIL + STRUCTURAL  
31913 Cook Road | North Ridgeville | Ohio | 44039

PROFESSIONAL ENGINEER  
STATE OF OHIO  
NOT FOR LOCAL ENG. SECTION  
Gregory C. Alber, License #22323  
Expiration Date 12/31/2025

PROJECT:

STARBUCKS RESTAURANT  
NORTHWEST CORNER OF INTERSECTION OF  
WOOSTER PIKE AND HIGH POINT DRIVE  
MEDINA, OH

ISSUE:	DATE:
MEDINA PLANNING	03-19-25

A&R PROJECT NO. 2409-20

SHEET NO.  
GRADING PLAN

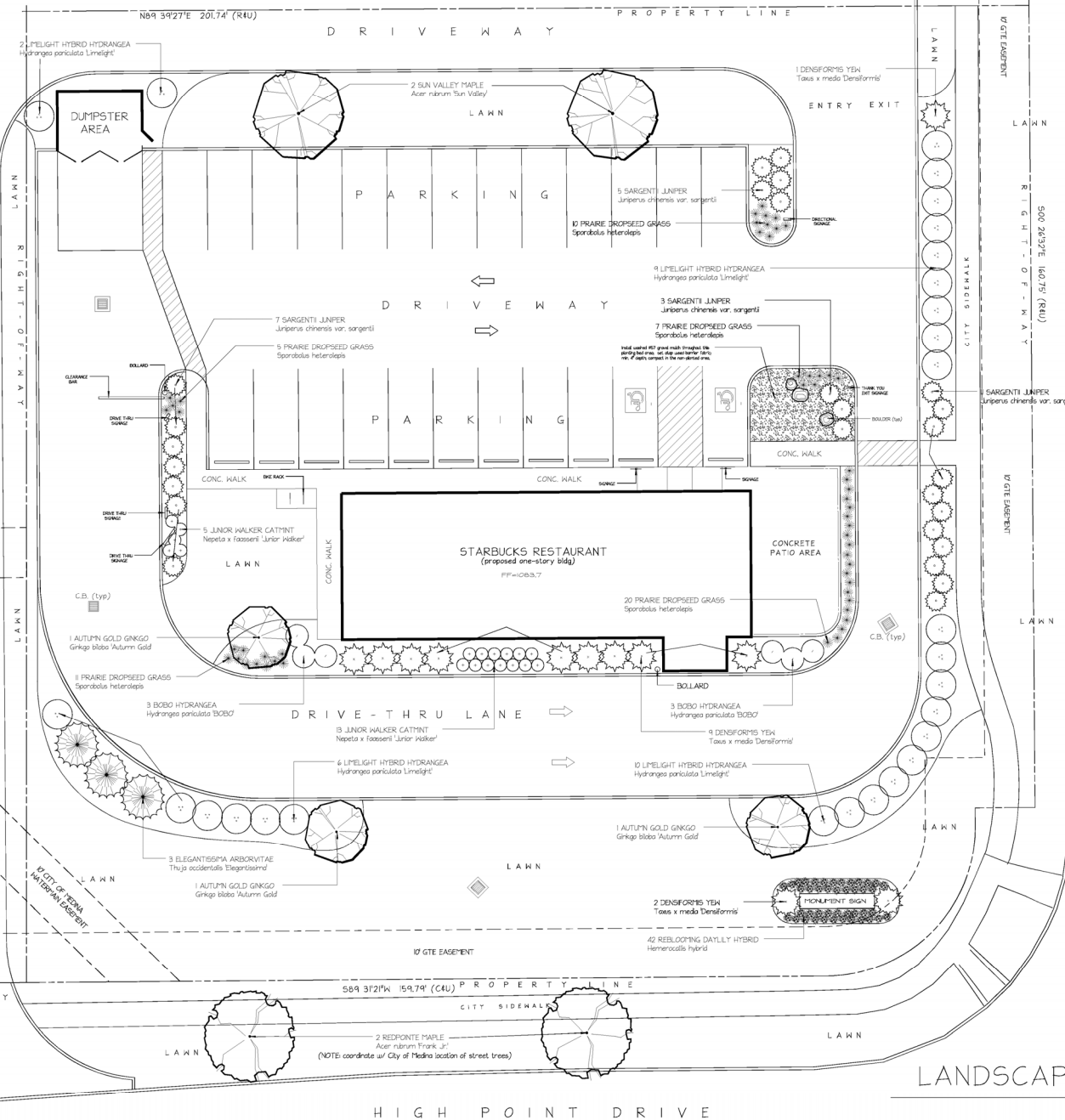
c4.1

PRELIMINARY ONLY  
FOR REVIEW  
NOT FOR CONSTRUCTION

CITY OF MEDINA  
WATERMAN EASEMENT

D R I V E W A Y

EXIT ENTRY



PROJECT  
**BUILDING @ ACME OUTLOT**  
@ WOOSTER PIKE & HIGH POINT DRIVE, MEDINA, OHIO

CLIENT: ALBRECHT, Incorporated  
Developer of property


REVISION(S)  
DATE: 20 MARCH 2025  
SCALE: 1"=10'-0"  
DRN BY: D.D.  
CHKD BY: J.K.  
PROJ. NO.: 25C0700






DESIGN BY:  
DATE: 20 MARCH 2025  
SCALE: 1"=10'-0"  
DRN BY: D.D.  
CHKD BY: J.K.  
PROJ. NO.: 25C0700

DESIGN BY:  
**R. B. STOUT, inc.**  
1285 N. CLEVELAND - MASSILLON ROAD  
AKRON, OHIO 44333-1899  
[www.rbstoutinc.com](http://www.rbstoutinc.com)  
330-666-8811

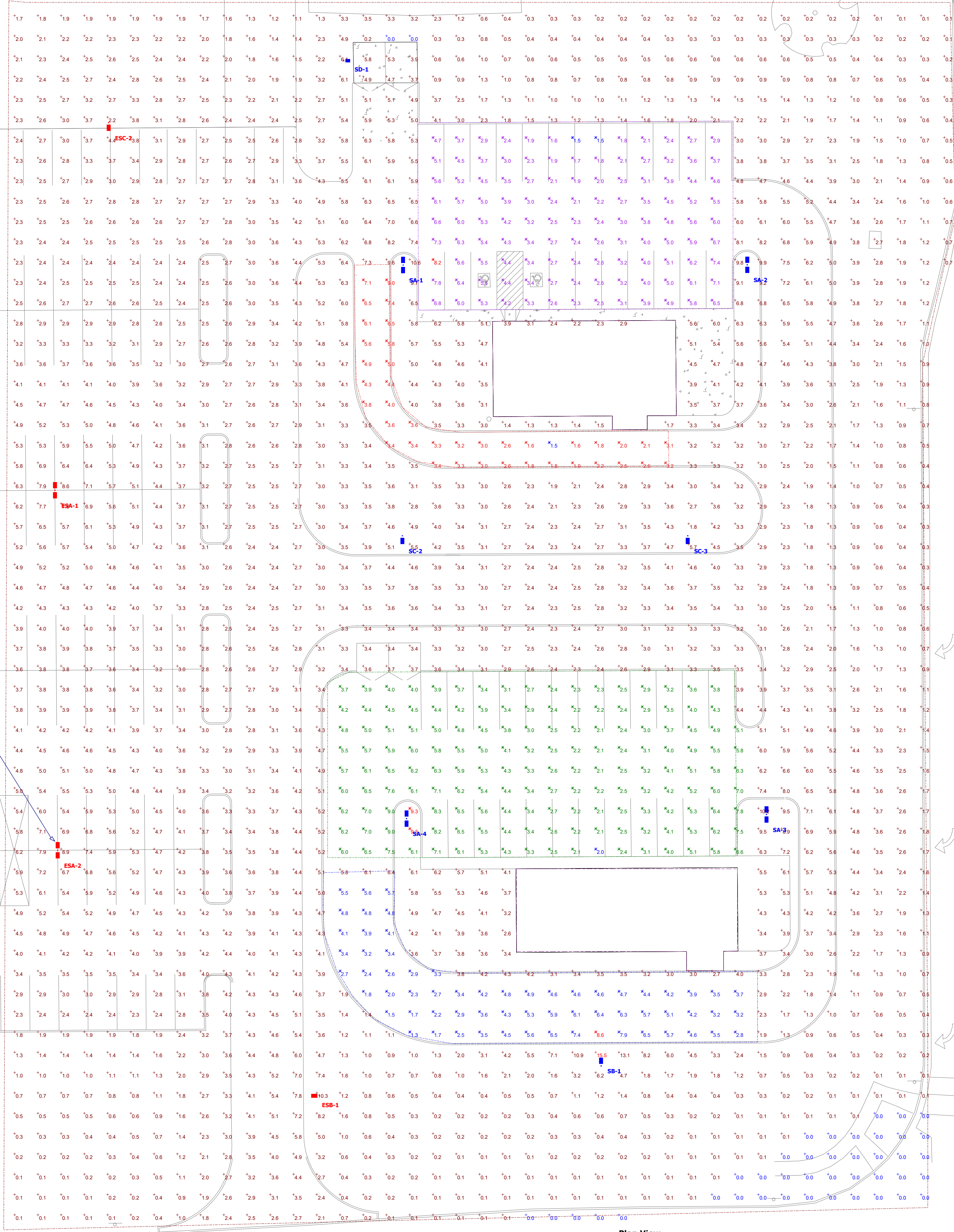
SHEET NO.  
**L-10**



Schedule										
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	ESA		4	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA5C-740-U-5WQ	Existing GALLEON AREA AND ROADWAY LUMINAIRE (S) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS, 25 foot overall height	80	461	0.9	538
	ESB		1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA4C-740-U-SL3	Existing GALLEON AREA AND ROADWAY LUMINAIRE (S) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS, 25' overall height	64	431	0.9	213
	ESC		2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA5C-740-U-5WQ	Existing GALLEON AREA AND ROADWAY LUMINAIRE (S) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS, 25 foot overall height	80	461	0.9	269
	SA		4	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA4C-740-U-5WQ	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS, 20 FEET OVERALL HEIGHT	64	455	0.9	426
	SB		1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA4C-740-U-SL3	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS, 20 FEET OVERALL HEIGHT	64	431	0.9	213
	SC		2	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA4C-740-U-5WQ	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V WIDE OPTICS, 20 FEET OVERALL HEIGHT	64	455	0.9	213
	SD		1	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GALN-SA2C-740-U-T4W	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS, ON 16' OVERALL HEIGHT POLE	32	442	0.9	108
			 Max: 14917cd							
			 Max: 27486cd							
			 Max: 14917cd							
			 Max: 11784cd							
			 Max: 27486cd							
			 Max: 11784cd							
			 Max: 9744cd							

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North Retail Parking Lot		4.0 fc	8.2 fc	1.5 fc	5.5:1	2.7:1
Overall Grid		3.1 fc	15.5 fc	0.0 fc	N/A	N/A
South Retail Drive Thru		4.2 fc	8.6 fc	1.3 fc	6.6:1	3.2:1
South Retail Parking Lot		4.5 fc	9.3 fc	2.0 fc	4.7:1	2.3:1
North Retail Drive Thru		3.7 fc	9.0 fc	1.5 fc	6.0:1	2.5:1

Red fixtures were installed under previous phase, 25 foot overall height



Plan View  
Scale - 1" = 20ft

Type "SB, SC & SD"


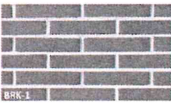
Type "SA"







EXTERIOR MATERIAL LEGEND

METAL	WOOD
MTL-1 : COPING : PREFINISHED STOREFRONT : ANODIZED CANOPY: POWDER COATED COLOR TO MATCH RAL#7021/MT0028-FLAT BLACK (MATTE)	WD-2 : FIBER CEMENT SIDING, HORIZONTAL WOOD CLADDING, reSAWN TIMBER CO., UNAGI-SHOU SUGI BANN COLOR
BRICK THIN BRICK MORA CERAMICA BRICK, COLOR: CLINKER-MANHATTAN (MORTAR TO MATCH BRICK), MODULAR (2 1/4" X 7 5/8"). BRICK TO BE HORIZONTALLY STACKED BELOW CANOPY DATUM AND VERTICALLY STACKED ABOVE CANOPY DATUM.	 WD-2
 BSK-1	

REV.	DATE	DESCRIPTION

PRELIMINARY DRAFT  
NOT FOR  
CONSTRUCTION, BID,  
RELIANCE, RECORDING  
PURPOSES OR  
IMPLEMENTATION

ACME MEDINA - OUTLOT SOUTH  
1225 SOUTH COURT STREET  
MEDINA, OH 44256

EXTERIOR RENDERINGS

	DATE
SIX PACK	1/24/25
PROJECT MANAGER	DESIGNER
TC	Author

JOB NO.  
2024379.08

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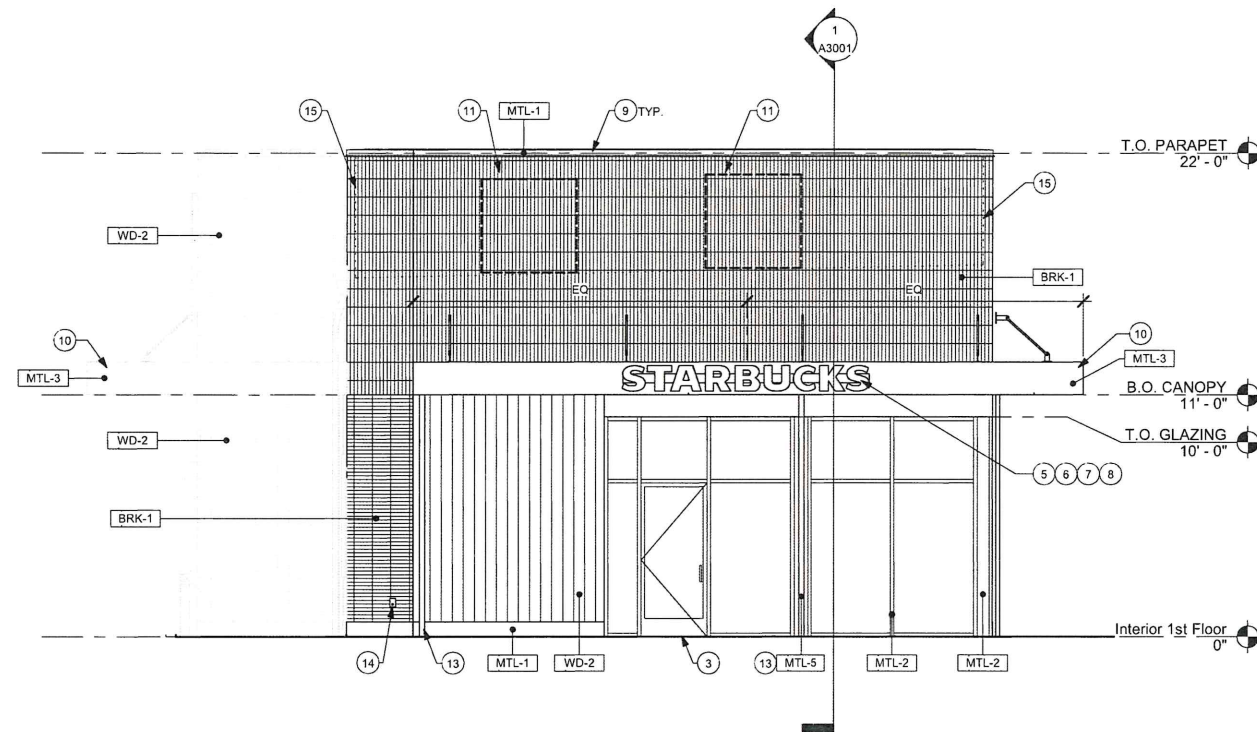


## KEYED NOTES

1. STORE ADDRESS. PROVIDE 3" HIGH BLACK ACRYLIC STORE ADDRESS ON GLAZING ABOVE MAIN ENTRY DOOR.
2. PRIMARY ENTRANCE DOOR(S).
3. SECONDARY (PATIO) ENTRANCE DOOR.
4. DOOR ACTUATOR. SEE DIMENSIONED FLOOR PLAN.
5. FUTURE SIGNAGE BY OTHERS (SHOWN FOR REFERENCE ONLY).
6. PROVIDE J-BOX WITH PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGN VENDOR.
7. PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
8. 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" MIN. BEYOND EDGE OF SIGNAGE.
9. PRE-FINISHED METAL COPING, TYPICAL.
10. PRE-FABRICATED METAL CANOPY, UNDERSIDE OF CANOPY METAL TO MATCH CANOPY.
11. LINE OF MECHANICAL EQUIPMENT BEYOND.
12. EXTERIOR SCONCE LIGHTING.
13. DOWNSPOUT.
14. LOCKABLE HOSE BIB.
15. OUTLINE OF ROOF BEYOND.

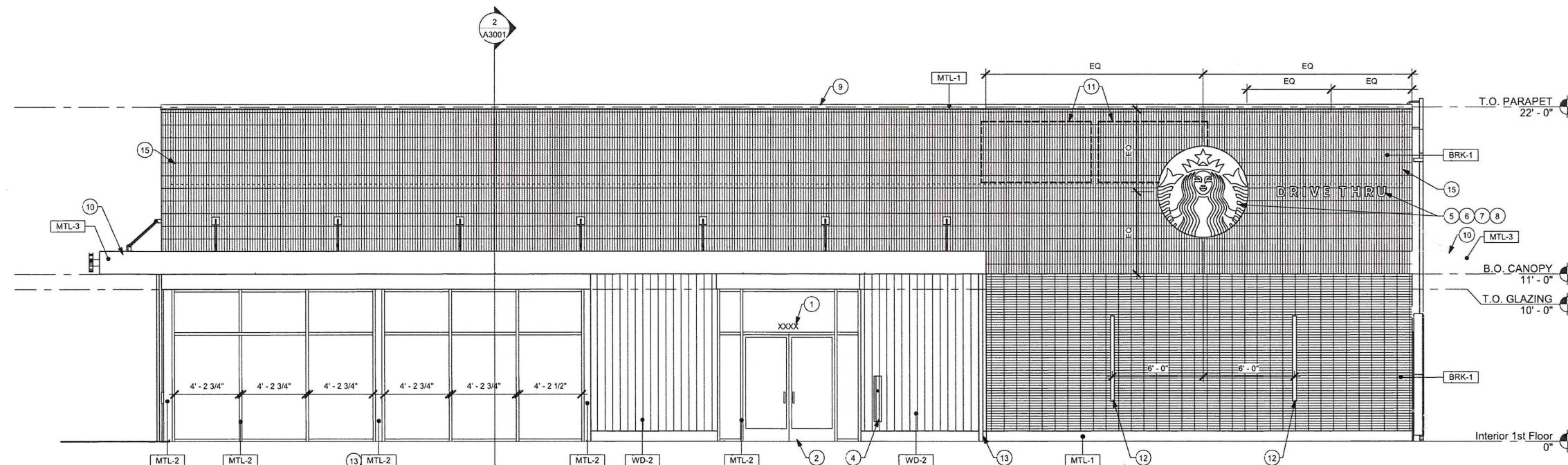
## GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.



**2 EAST ELEVATION**  
Scale: 1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND									
No.	MATERIAL	MANUFACTURER	COLOR/DESCRIPTION	FINISH/STYLE	NOTES	VENDOR CONTACT INFO			
BRK-1	THIN BRICK VENEER	MORA CERAMICA	CLINKER-MANHATTAN (MORTAR TO MATCH BRICK)	THIN BRICK - MODULAR (3 5/8" X 7 5/8")	BRICK TO BE HORIZONTALLY STACKED BELOW CANOPY DATUM AND VERTICALLY STACKED ABOVE CANOPY DATUM.	CLIFF CAMPBELL	BELDEN TRI-STATE BUILDING PRODUCTS	CLIFF@BTSBM.COM	212-686-3939 (DIRECT) 347-723-2850 (MOBILE)
WD-2	TONGUE & GROOVE ABODO AND ACCOYA WOOD SIDING (@ FACADE)	reSAWN TIMBER CO.	UNAGI - SHOU SUGI BANN	BURNT ON FACE ONLY. SEALED ON ALL SIDES. SOLID +/- 3/4" THICK x +/- 5-3/8" WIDE x 6'-16" RANDOM LENGTH.		TRACY BRANDENBERGER	reSAWN TIMBER CO.	TRACY@RESAWNTIMBERCO.COM	215-738-0677
MTL-1	METAL COPING	LOCALLY SOURCED	TO MATCH RAL#7021 / MT0028 FLAT BLACK (MATTE)	PRE-FINISHED					
MTL-2	ALUMINIUM STOREFRONT SYSTEM			ANODIZED					
MTL-3	METAL CANOPY			POWDERCOAT					
MTL-4	HOLLOW METAL DOOR FRAME			PAINTED					
MTL-5	DOWNSPOUTS AND SCUPPERS			PRE-FINISHED					



**1 NORTH ELEVATION**  
Scale: 1/4" = 1'-0"

REV.	DATE	DESCRIPTION

PRELIMINARY DRAFT  
NOT FOR  
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RELIANCE, RECORDING  
PURPOSES OR  
IMPLEMENTATION

ACME MEDINA - OUTLOT SOUTH  
1225 SOUTH COURT STREET  
MEDINA, OH 44256

EXTERIOR ELEVATIONS

DATE	
SIX PACK	1/24/25

PROJECT MANAGER	DESIGNER
Approver	Author

JOB NO.  
2024379.08

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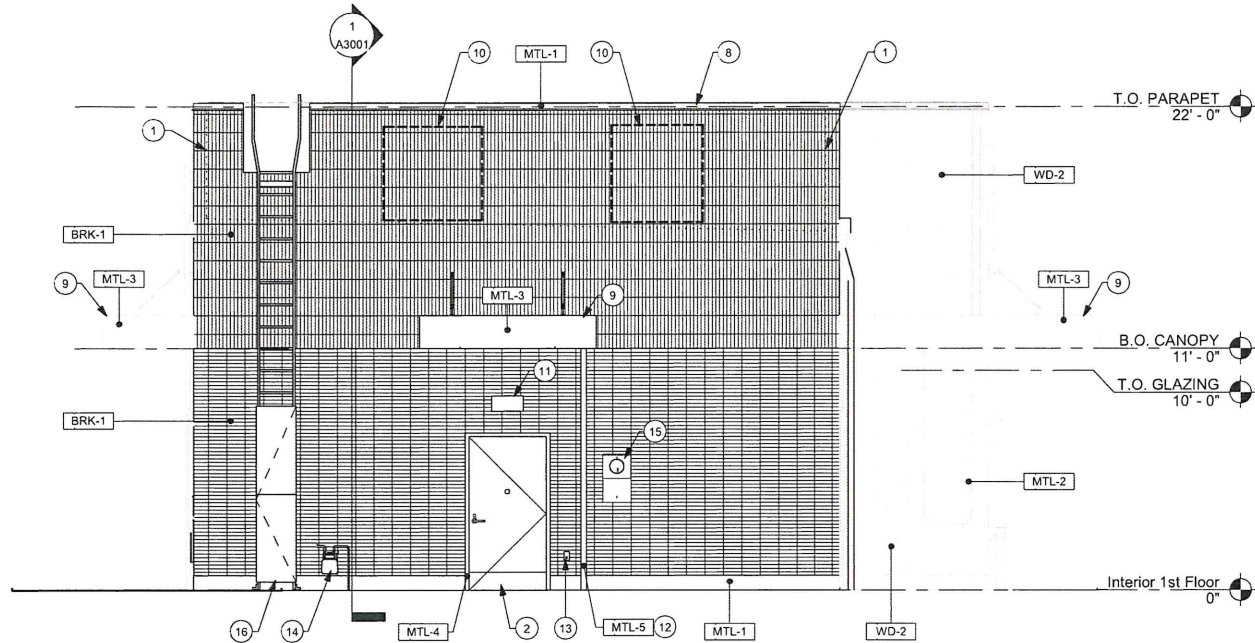


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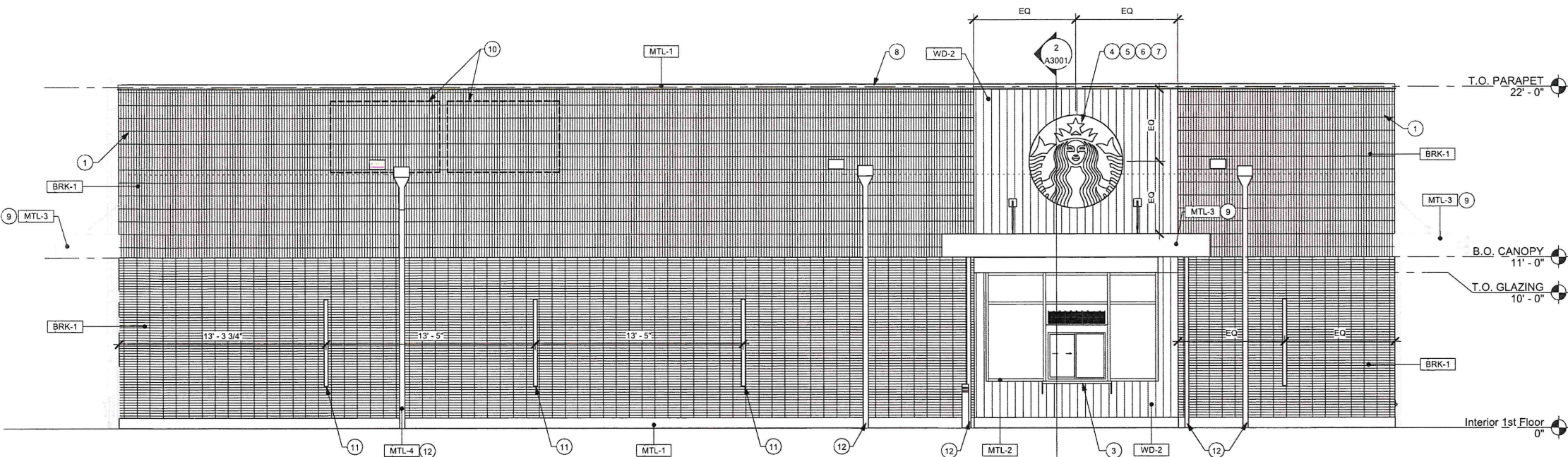
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B

A



2 WEST ELEVATION  
Scale: 1/4" = 1'-0"



1 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"

### KEYED NOTES

1. OUTLINE OF ROOF BEYOND.
2. SERVICE DOOR.
3. DT WINDOW SHELF: INSTALL SERVICE WINDOW SHELF AT 36" AFF INSIDE AND 42" AFF OUTSIDE, AS MEASURED ABOVE THE DT SURFACE.
4. FUTURE SIGNAGE BY OTHERS (SHOWN FOR REFERENCE ONLY).
5. PROVIDE J-BOX WITH PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION WITH SIGN VENDOR.
6. PROVIDE SIGNAGE DISCONNECT ON INSIDE FACE OF WALL.
7. 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" MIN. BEYOND EDGE OF SIGNAGE.
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9. PRE-FABRICATED METAL CANOPY. UNDERSIDE OF CANOPY METAL TO MATCH CANOPY.
10. LINE OF MECHANICAL EQUIPMENT BEYOND.
11. EXTERIOR SCONCE LIGHTING.
12. DOWNSPOUT.
13. LOCKABLE HOSE BIB.
14. GAS METER.
15. ELECTRICAL METER.
16. ROOF LADDER.

### GENERAL NOTES

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MTL-3	METAL CANOPY			POWDERCOAT					
MTL-4	HOLLOW METAL DOOR FRAME			PAINTED					
MTL-5	DOWNSPOUTS AND SCUPPERS			PRE-FINISHED					

REV.	DATE	DESCRIPTION

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1225 SOUTH COURT STREET  
MEDINA, OH 44256

EXTERIOR ELEVATIONS

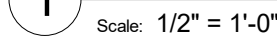
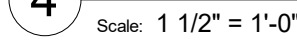
SIX PACK	DATE
	1/24/25

PROJECT MANAGER	DESIGNER
Approver	Author

JOB NO.  
2024379.08

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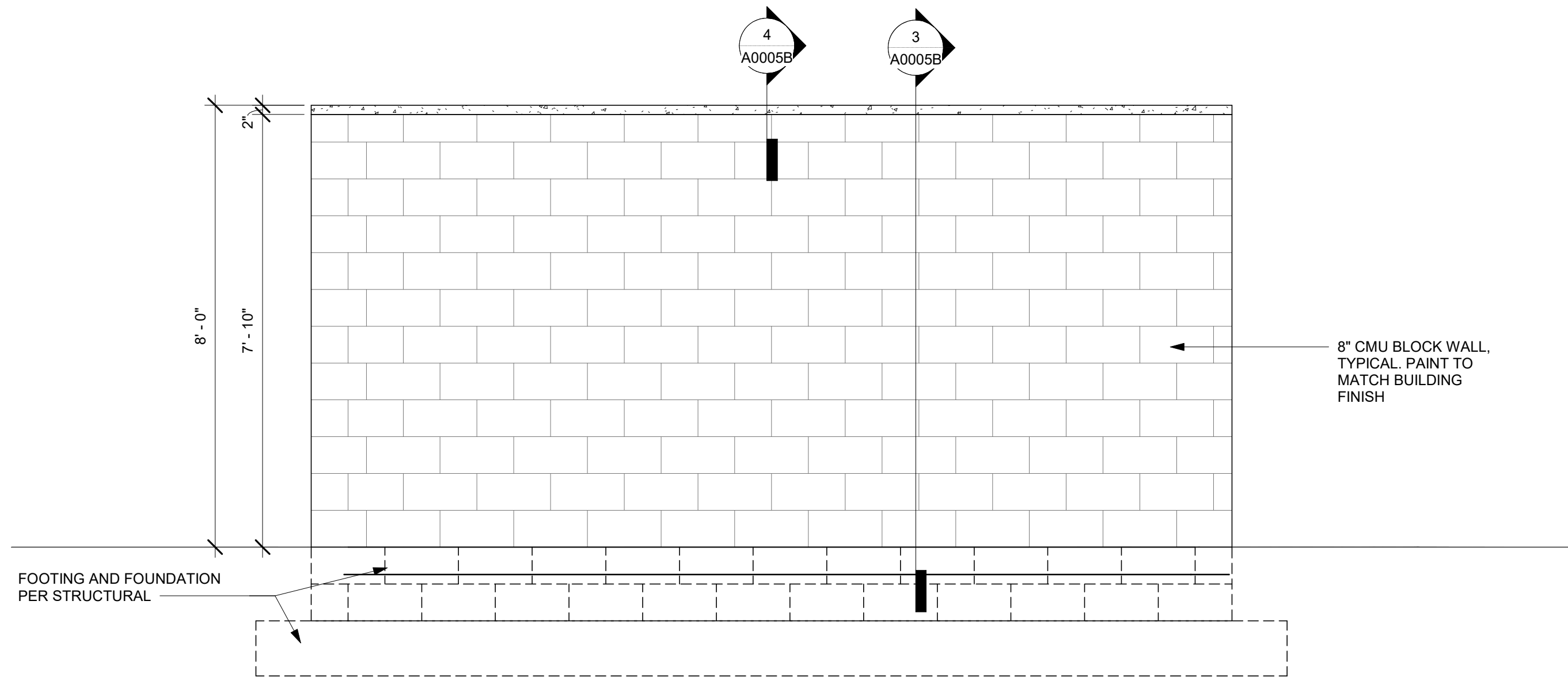


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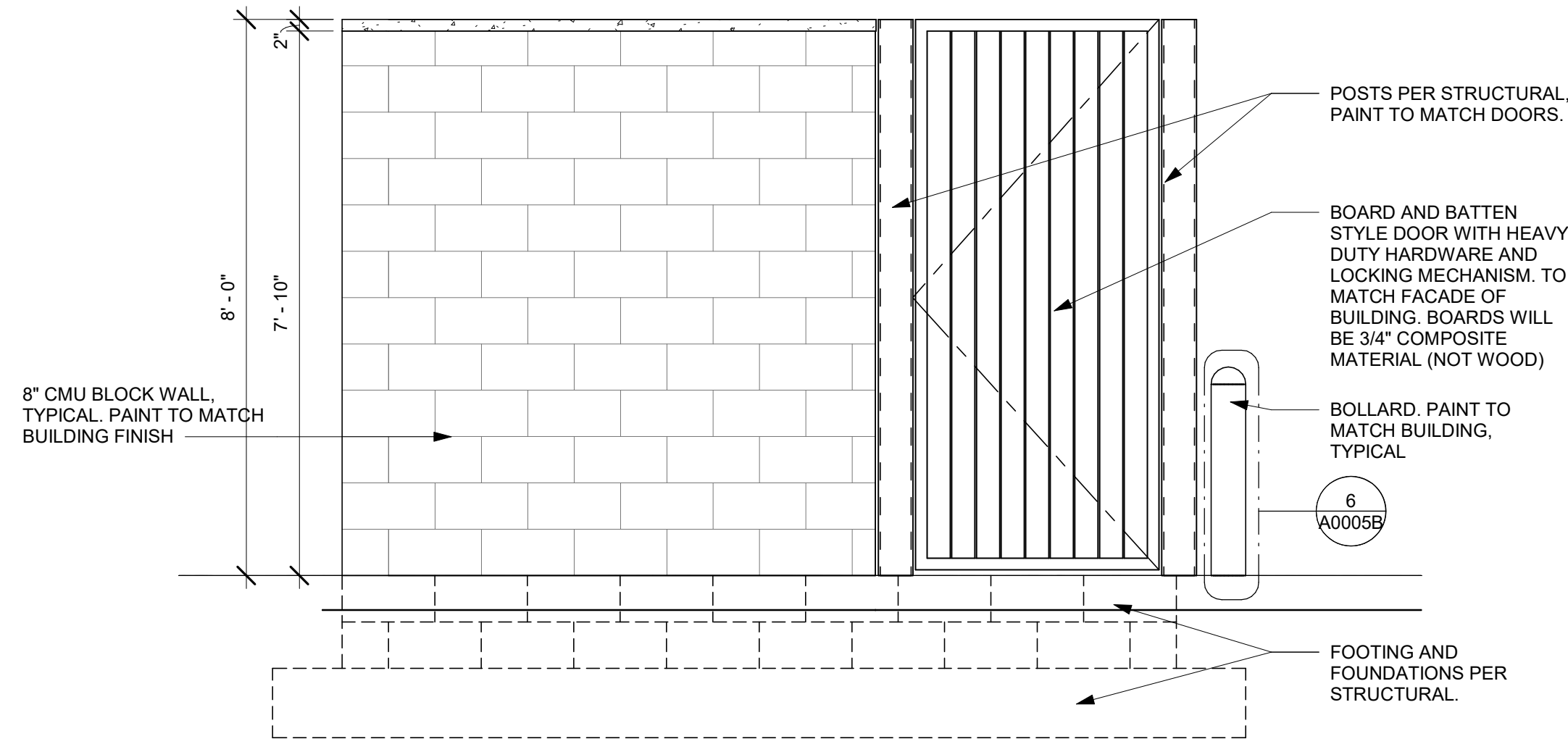
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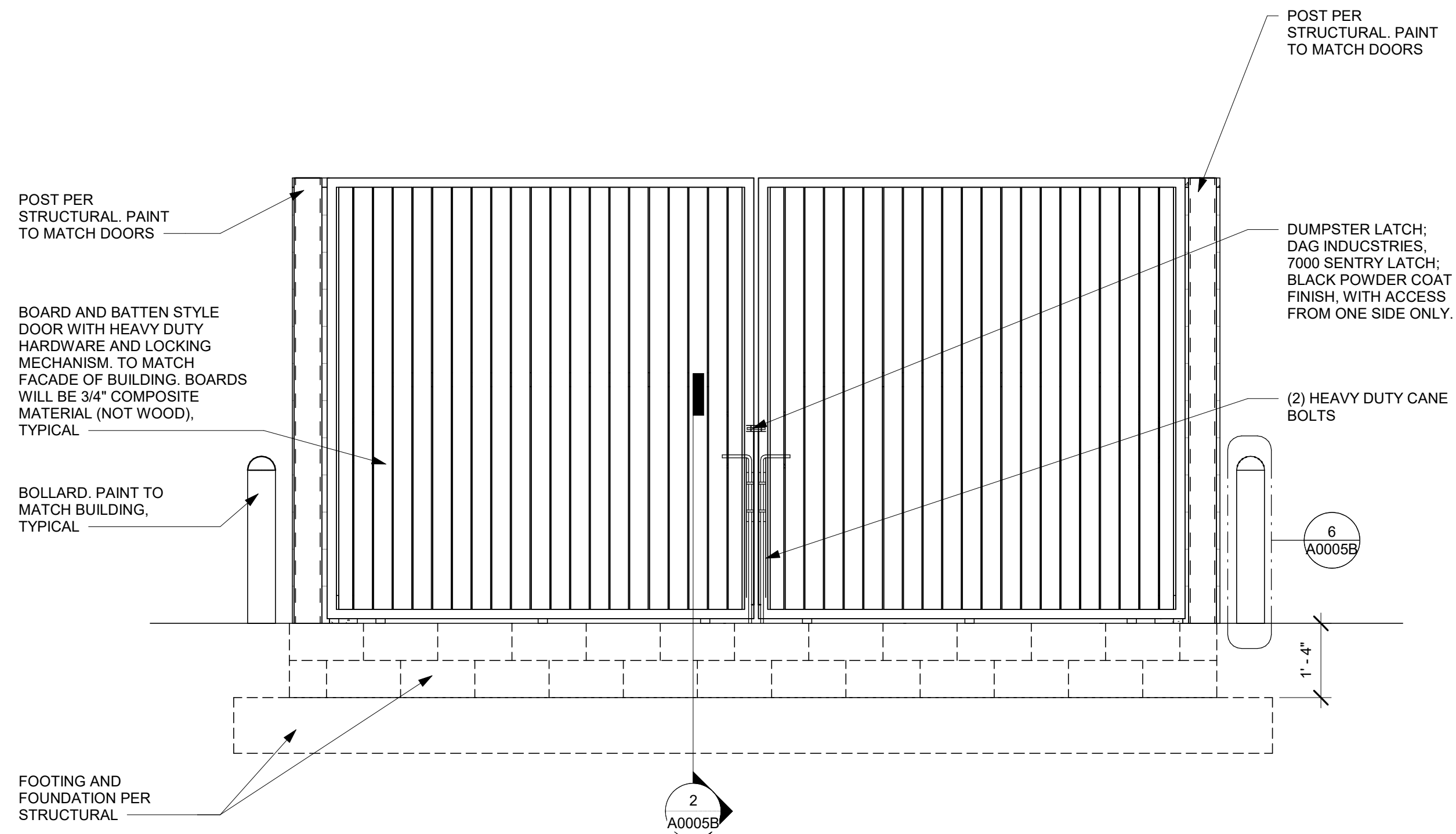
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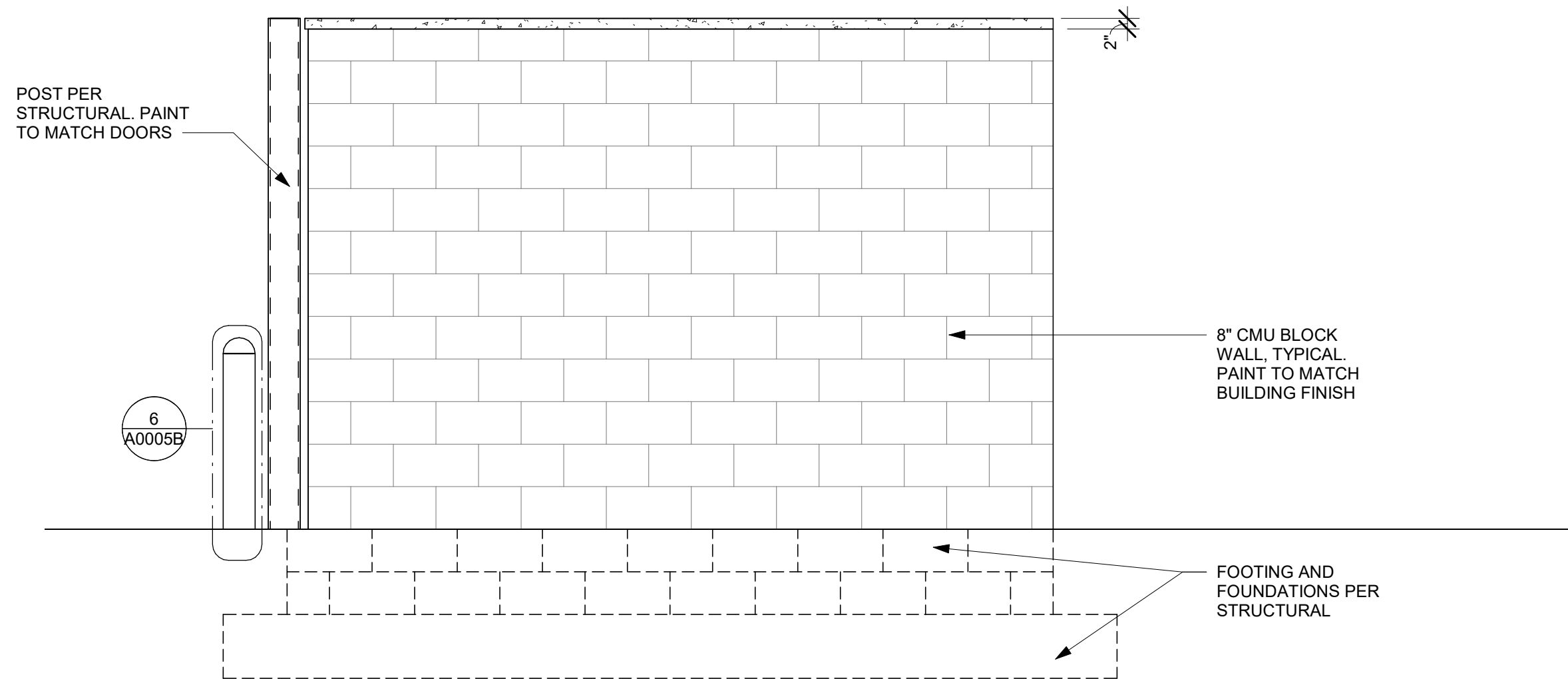
**3 TRASH ENCLOSURE - BACK ELEVATION**  
Scale: 1/2" = 1'-0"



**4 TRASH ENCLOSURE - SIDE ELEVATION WITH DOOR**  
Scale: 1/2" = 1'-0"



**1 TRASH ENCLOSURE - FRONT ELEVATION**  
Scale: 1/2" = 1'-0"



**2 TRASH ENCLOSURE - SIDE ELEVATION**  
Scale: 1/2" = 1'-0"

**TRASH ENCLOSURE  
(ELEVATIONS)**

DATE	
PROJECT MANAGER	DESIGNER

JOB NO.

**A0005C**





**ACME**  
*Fresh Market*

Food

Pharmacy