



# BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue  
330-722-9038  
www.medinaoh.org

Application Number **225-06**

GENERAL	Date of Application <u>3/10/2025</u>
	Property Location <u>665 Lafayette Road, Medina, OH 44256</u>
	Description of Project <u>Enclosure of existing dining deck extending approximately 8' into front yard setback.</u>
CONTACT INFORMATION	<b>Applicant</b>
	Name <u>William Adams</u>
	Address <u>447 Main St</u> City <u>Wadsworth</u> State <u>OH</u> Zip <u>44281</u>
	Phone <u>(330) 350-1593</u> Email <u>adamswilliam22@gmail.com</u>
	<b>Property Owner</b>
	Name <u>IBC Bars, LLC</u>
	Address <u>1341 Freeport Drive</u> City <u>Medina</u> State <u>OH</u> Zip <u>44256</u>
	Phone <u>(330) 350-1593</u> Email <u>adamswilliam22@gmail.com</u>
APPLICATION TYPE	<b>Planning Commission</b> Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/>
	Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> TC-OV <input checked="" type="checkbox"/> Other <input type="checkbox"/>
	<b>Historic Preservation Board</b> Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/>
	<b>Board of Zoning Appeals</b> Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/> <u>SECTION 1141.05, MIN FRONT YARD SETBACK</u>
APPLICANT SIGNATURE	By signing this application, I hereby certify that: 1) The information contained in this application is true and accurate to the best of my knowledge; 2) I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record; 3) I assume sole responsibility for correspondence regarding this application; and 4) I am aware that all application requirements must be submitted prior to the formal acceptance of my application.
	Signature <u>[Signature]</u> Date <u>19 Mar 2025</u>
OFFICIAL USE	Zoning District <u>I-1</u> Fee (See Fee Sheet) \$ <u>200</u>
	Meeting Date <u>4/10/25</u> Check Box when Fee Paid <input checked="" type="checkbox"/>

**Z25-06**  
**Diner 42 Front Addition**

Property Owner: IBC Bars LLC  
Applicant: William Adams  
Location: 665 Lafayette Road  
Zoning: I-1 (Industrial)  
Request: Area variance approval to Section 1141.05 to allow a principal structure in the front setback

**LOCATION AND SURROUNDING USES**

The subject site is composed of 0.51 acres on the north side of Lafayette Road. Adjacent properties include the following uses and zoning:

- North – Industrial (I-1)
- East – Vacant (C-1)
- South – Single-Family Residence (C-1)
- West – Industrial (I-1)



**BACKGROUND & PROPOSED APPLICATION**

The building previously incorporated an uncovered front deck used for outdoor dining located 16 ft. 8 in. from the right-of-way. Recently, the uncovered deck was roofed and enclosed without necessary permits. The enclosure includes a dark metal roof, unfinished wood siding, and windows on all sides.

### **FRONT SETBACK (SECTION 1141.05))**

Section 1141.05 includes a table of lot development standards which requires a minimum front setback of 25 ft. for principal buildings.

Section 1113.04(k)(3) provides an exception allowing unenclosed porches to project into the front setback up to 10 ft. Therefore, the previously uncovered deck had a required minimum front setback of 15 ft. from the right-of-way. The uncovered deck was compliant with the front setback requirement at 16 ft. 8 in. from the right-of-way.

The enclosed deck does not qualify for the exception and has a minimum front setback of 25 ft. The enclosed deck is located at 16 ft. 8 in. from the right-of-way and does not meet the required front setback.

### **STANDARDS FOR VARIANCES AND APPEALS (SECTION 1107.08(i))**

Factors applicable to area or size-type variances ("practical difficulty"). The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

- A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;
- B. Whether the variance is substantial;
- C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;
- D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);
- E. Whether the property owner purchased the property with knowledge of the zoning restrictions;
- F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or
- G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

### **APPLICANT'S RESPONSES TO STANDARDS FOR VARIANCES AND APPEALS**

The applicant's responses to the Standards for Variances and Appeals include, but are not limited to, the following:

- The property cannot yield a reasonable return without the variance as the dining deck is essential to the business and the enclosure is necessary for year-round dining.
- The variance is not substantial as it is an improvement to a conforming deck.
- The property owner was not aware of the zoning restriction.



**FACTORS APPLICABLE TO AREA OR SIZE-TYPE VARIANCES ("PRACTICAL DIFFICULTY")**

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and an area or size-type variance should be granted:

A. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance;

The dining deck is essential to the operation of the Diner, and the Enclosure is essential to operations during late Fall, Winter and Spring seasons, as well as for sun and rain protection during Summer.

B. Whether the variance is substantial;

The variance is incremental rather than substantial. The dining deck is a conforming appurtenance approved under a previous building permit and allowed to extend into the front yard setback. Enclosure of the deck constitutes a technical but not a functional variance.

C. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer substantial detriment as a result of the variance;

The character of the neighborhood would not be substantially altered, nor would adjoining properties suffer any detriment as a result of the variance.

D. Whether the variance would adversely affect the delivery of governmental services (e.g., water, sewer, garbage);

The delivery of governmental services would not be adversely affected by granting the variance.

E. Whether the property owner purchased the property with knowledge of the zoning restrictions;

The property owner was not aware that enclosure of the existing deck would constitute a variance.

F. Whether the property owner's predicament feasibly can be obviated through some method other than a variance; and/or

There is not a practical alternative to providing customer weather protection at the existing deck other than enclosure by variance.

G. Whether the spirit and intent behind the zoning requirement would be observed and substantial justice done by granting a variance.

It is our view that no injustice is done by granting the requested variance. To enclose an existing, approved and permitted dining deck seems well within the spirit and intent of the Zoning Code.

### 365 Lafayette Road Existing Photographs (Prior to Deck Enclosure)





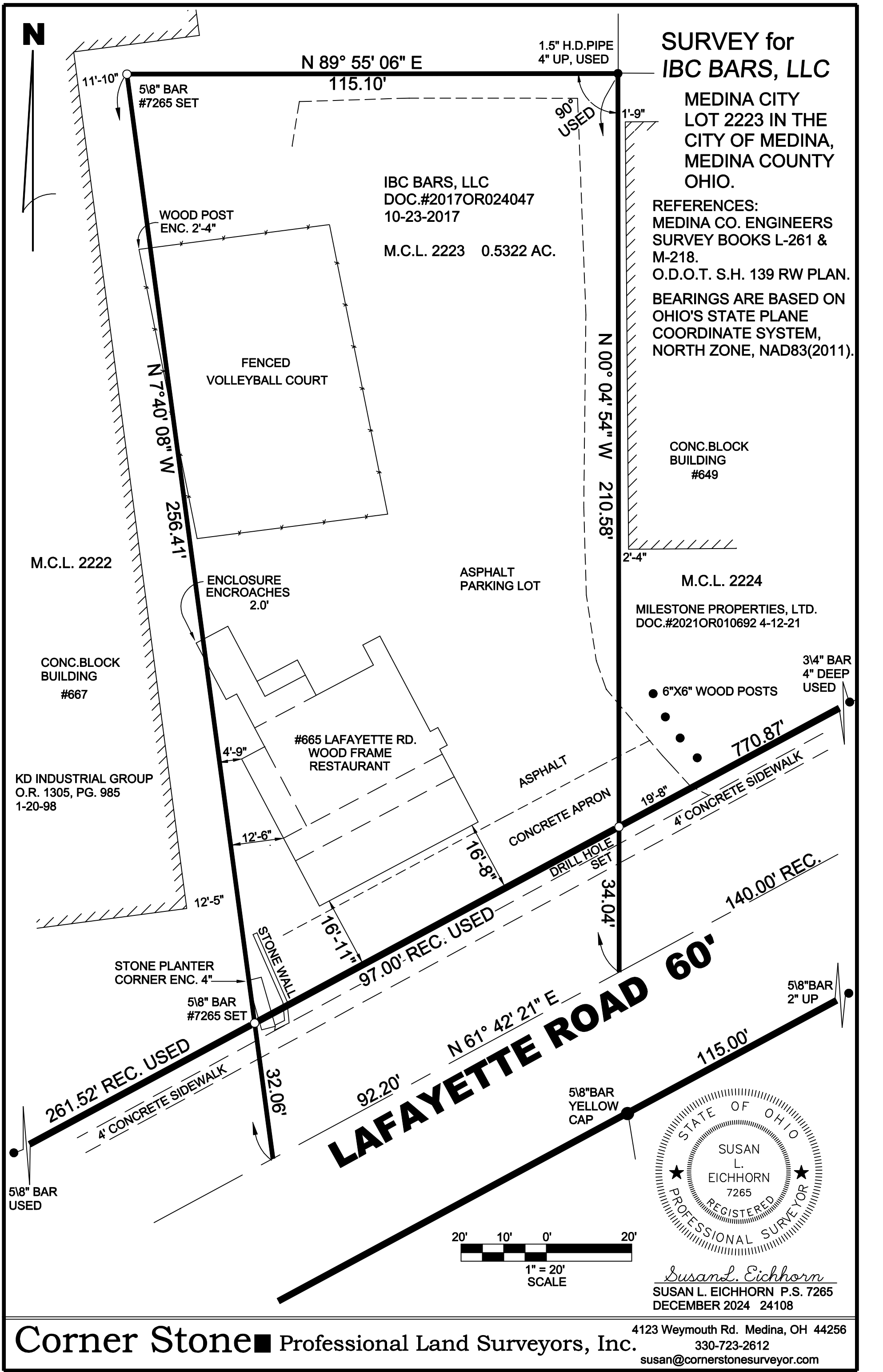
### 365 Lafayette Road Existing Photographs (After Deck Enclosure)





665 Lafayette Road





**SURVEY for  
IBC BARS, LLC**

MEDINA CITY  
LOT 2223 IN THE  
CITY OF MEDINA,  
MEDINA COUNTY  
OHIO.

REFERENCES:  
MEDINA CO. ENGINEERS  
SURVEY BOOKS L-261 &  
M-218.  
O.D.O.T. S.H. 139 RW PLAN.  
BEARINGS ARE BASED ON  
OHIO'S STATE PLANE  
COORDINATE SYSTEM,  
NORTH ZONE, NAD83(2011).

IBC BARS, LLC  
DOC.#2017OR024047  
10-23-2017  
M.C.L. 2223 0.5322 AC.

CONC.BLOCK  
BUILDING  
#649

M.C.L. 2224

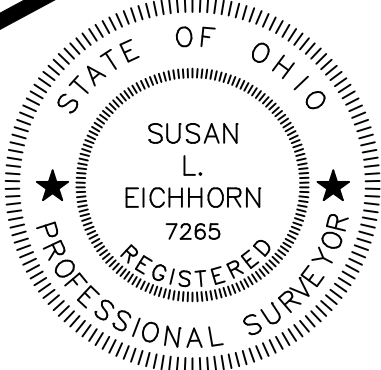
MILESTONE PROPERTIES, LTD.  
DOC.#2021OR010692 4-12-21

CONC.BLOCK  
BUILDING  
#667

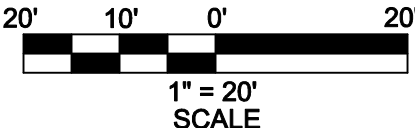
KD INDUSTRIAL GROUP  
O.R. 1305, PG. 985  
1-20-98

#665 LAFAYETTE RD.  
WOOD FRAME  
RESTAURANT

**LAFAYETTE ROAD 60'**



*Susan L. Eichhorn*  
SUSAN L. EICHORN P.S. 7265  
DECEMBER 2024 24108





PROJECT DATA

PROJECT NAME:	DINER 42 PORCH ENCLOSURE	OWNER:	BILL ADAMS IBC BARS LLD 1341 FREEPORT DRIVE MEDINA, OH 44256
PROJECT LOCATION:	665 LAFAYETTE ROAD MEDINA, OH 44256		
APPLICABLE CODE:	2024 OHIO EXISTING BUILDING CODE 2024 OHIO BUILDING CODE 2017 OHIO ENERGY CODE/ASHRAE 90.1-2010	ARCHITECT:	REED RICHINS WINDFALL ARCHITECTS Ltd 5189 PARK DRIVE MEDINA, OH 44256  (330) 869-6592
OCCUPANCY CLASSIFICATION:	A2/R2 NON-SEPARATED APARTMENT OVER RESTAURANT/BAR (EXISTING, UNCHANGED)		
CONSTRUCTION TYPE:	V-B, NON-SUPPRESSED	GENERAL CONTRACTOR:	TBD
ALLOWABLE HT/AREA	40' H, 1 STORY, 6,000 SF/FL		
PROPOSED HT/AREA	22'-8" H, 2 STORY, 2096 SF FIRST FLOOR RESTAURANT/BAR 941 SF SECOND FLOOR APT, UNCHANGED		
DESIGN OCCUPANT LOAD (COMBINED ENCLOSED EXTERIOR DINING AREA)	668 SF @ 15 NET SF/PERSON = 45 OCCUPANTS		

DESIGN LOADS

POUNDS PER SQUARE FOOT

ROOF

DEAD	12
SNOW	16.8
TOTAL	28.8

FLOOR (DECK)

DEAD	12
LIVE	100
TOTAL	112

WIND

BASIC WIND SPEED = 115 MPH  
WIND EXPOSURE: B

EARTHQUAKE DESIGN DATA

SEISMIC DESIGN CATEGORY: B  
SEISMIC SITE CLASS : D

SNOW

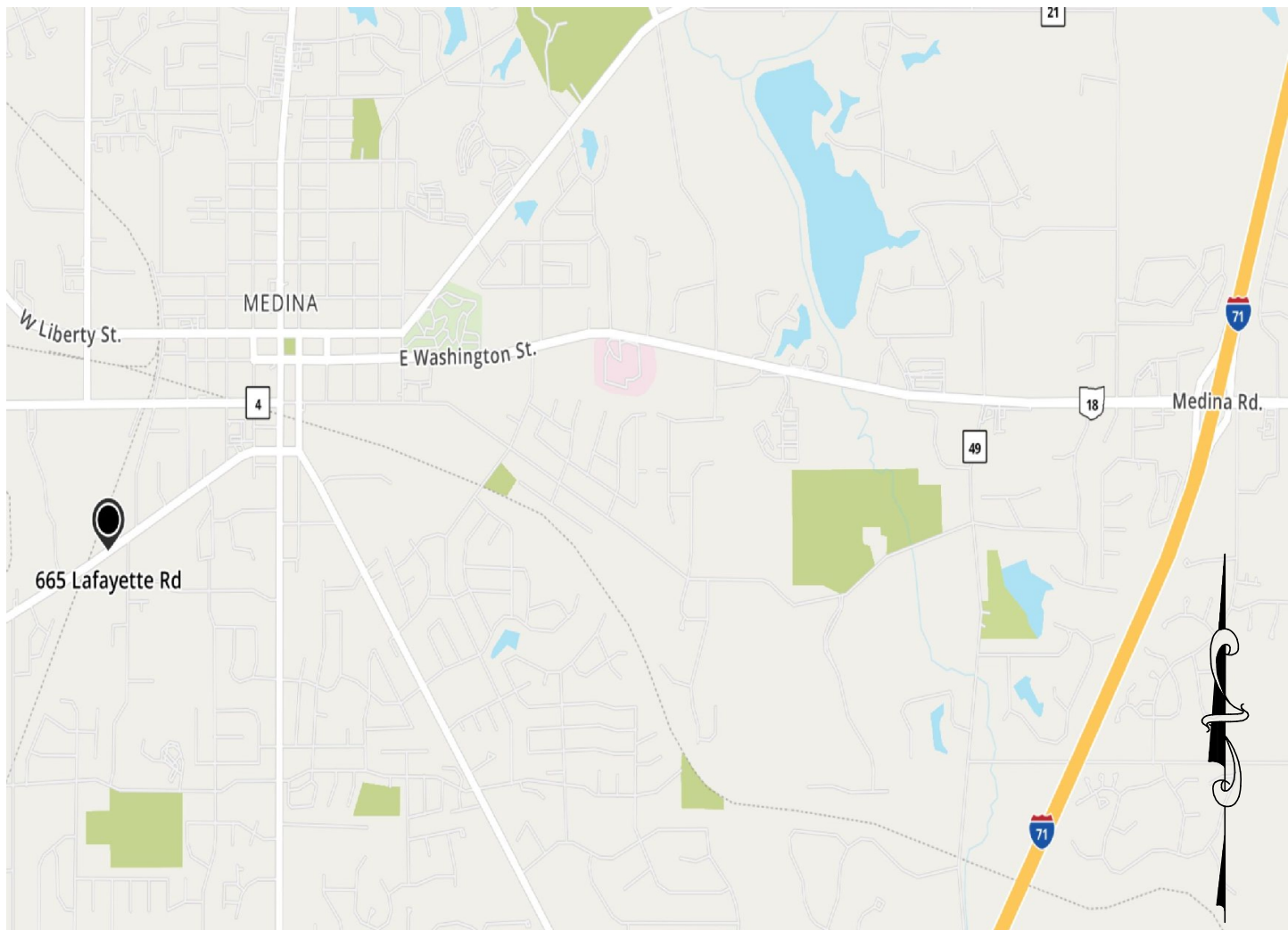
GROUND SNOW LOAD = 20 PSF

SOIL

DESIGN SOIL BEARING CAP = 2,000 PSF

VICINITY PLAN

DINER 42, 665 LAFAYETTE ROAD, MEDINA OH



INDEX OF DRAWINGS

T	TITLE SHEET
S	SITE PLAN
1	PRE-EXISTING ELEVATIONS
1A	PROPOSED ELEVATIONS
2	PRE-EXISTING FLOOR PLAN
2A	PROPOSED FLOOR PLAN
4	ROOF PLAN
5	SECTION, DETAILS
E	ELECTRICAL LAYOUT

CODE SUMMARY

DINER 42 PORCH ENCLOSURE IS A ROOF ADDITION TO AN EXISTING OPEN PORCH DINING DECK AT AN EXISTING BAR/RESTAURANT. THE BAR/RESTAURANT PORTION OF THE BUILDING REMAINS UNCHANGED EXCEPT FOR THE ADDITION OF PASSAGE FRENCH DOORS TO THE ENCLOSED PORCH PER THIS DRAWING SET. AN EXISTING SECOND FLOOR APARTMENT, WITH INDEPENDENT EXIT, REMAINS UNCHANGED.

THE OCCUPANT LOAD OF THE DINING DECK ALLOWS ONE EXIT; ONE NEW ACCESSIBLE EXIT IS PROVIDED, PLUS ONE EXIT THROUGH THE EXISTING BUILDING IS MAINTAINED.

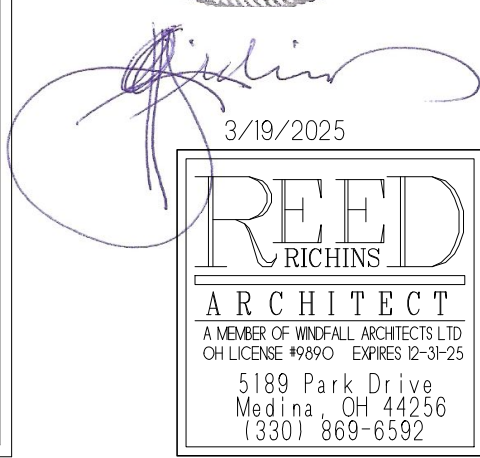
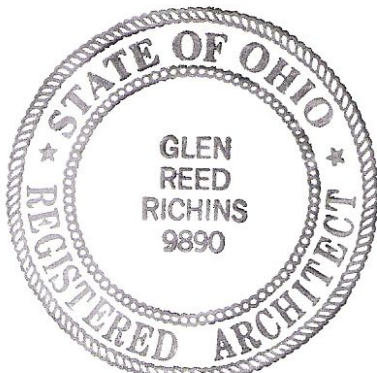
FIRE SUPPRESSION IS NOT REQUIRED OR PROVIDED.

THE EXISTING SEPARATION BETWEEN THE BAR/RESTAURANT & APARTMENT IS MAINTAINED.

THE PROPOSED ENCLOSED DINING DECK IS CLASSIFIED AS NON-RESIDENTIAL UNCONDITIONED SPACE, NOT REQUIRING THERMAL ENVELOPE.

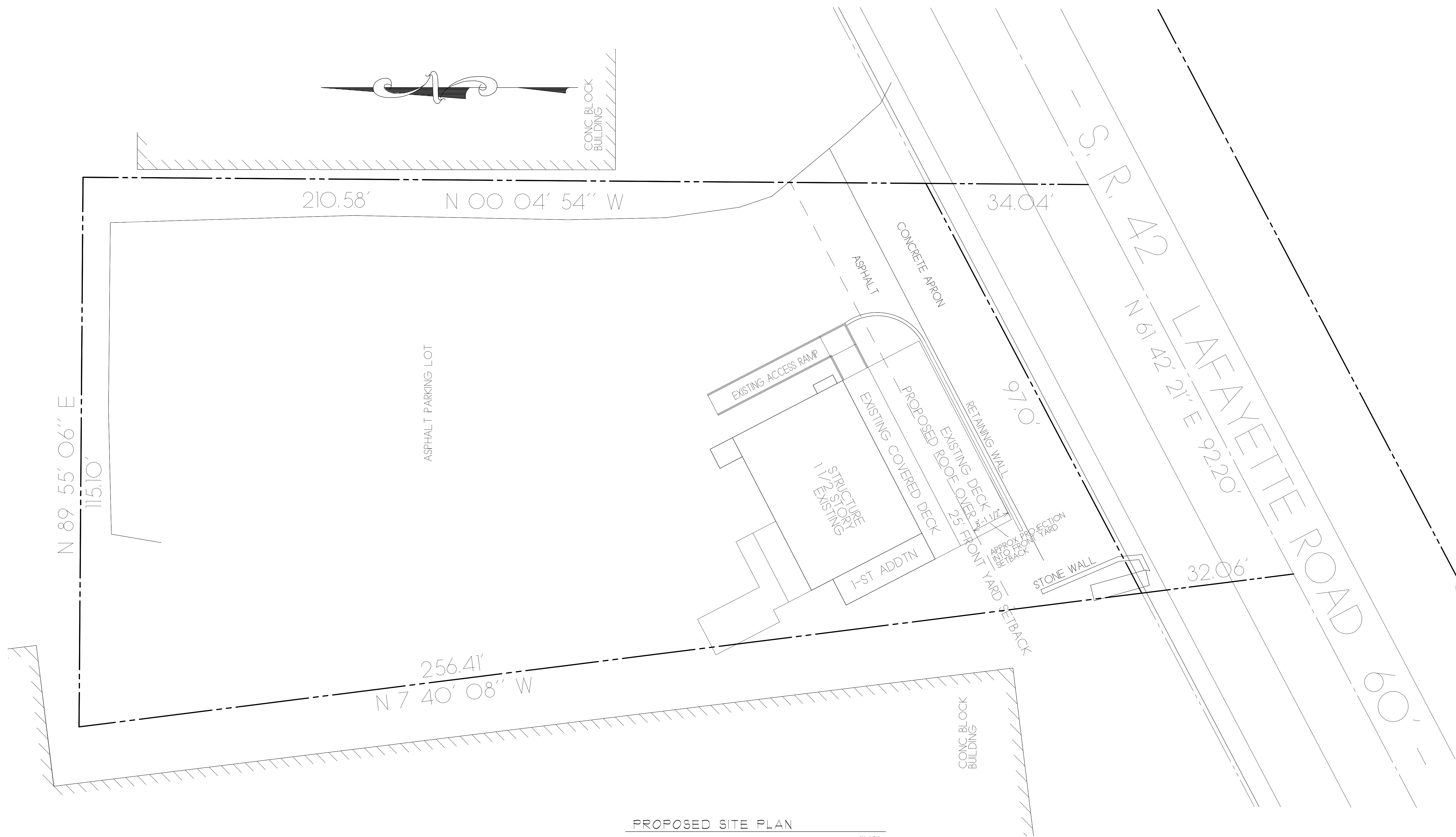
THE PROPOSED MODIFICATION IS AN ALTERATION LEVEL 2 OF AN EXISTING APPROVED STRUCTURE, COMPLYING WITH CHAPTERS 7 AND 8 OF THE CURRENT OHIO BUILDING CODE.

LIGHTING AND POWER IS PROVIDED AT THE ENCLOSURE PER CURRENT ADOPTED ISSUE OF THE NATIONAL ELECTRICAL CODE.



Diner 42 Porch Enclosure  
JOB NO. BA-Diner 42  
DATE 2/6/25  
DRAWN BY RR  
APPROVED BY  
REVISIONS

SHEET NO.  
T



*Glen Reed Richins*  
3/19/2025

**REED**  
RICHINS  
ARCHITECT  
A MEMBER OF WEGALL ARCHITECTS LTD  
OH LICENSE #9890 EXPRES 12-31-25  
5189 Park Drive  
Medina, OH 44130  
(330) 889-6592

Diner 42 Porch Enclosure  
JOB NO. BA-Diner 42  
DATE 2/8/25  
DRAWN BY RR  
APPROVED BY  
REVISIONS

SHEET NO.  
**S**

PROPOSED SITE PLAN





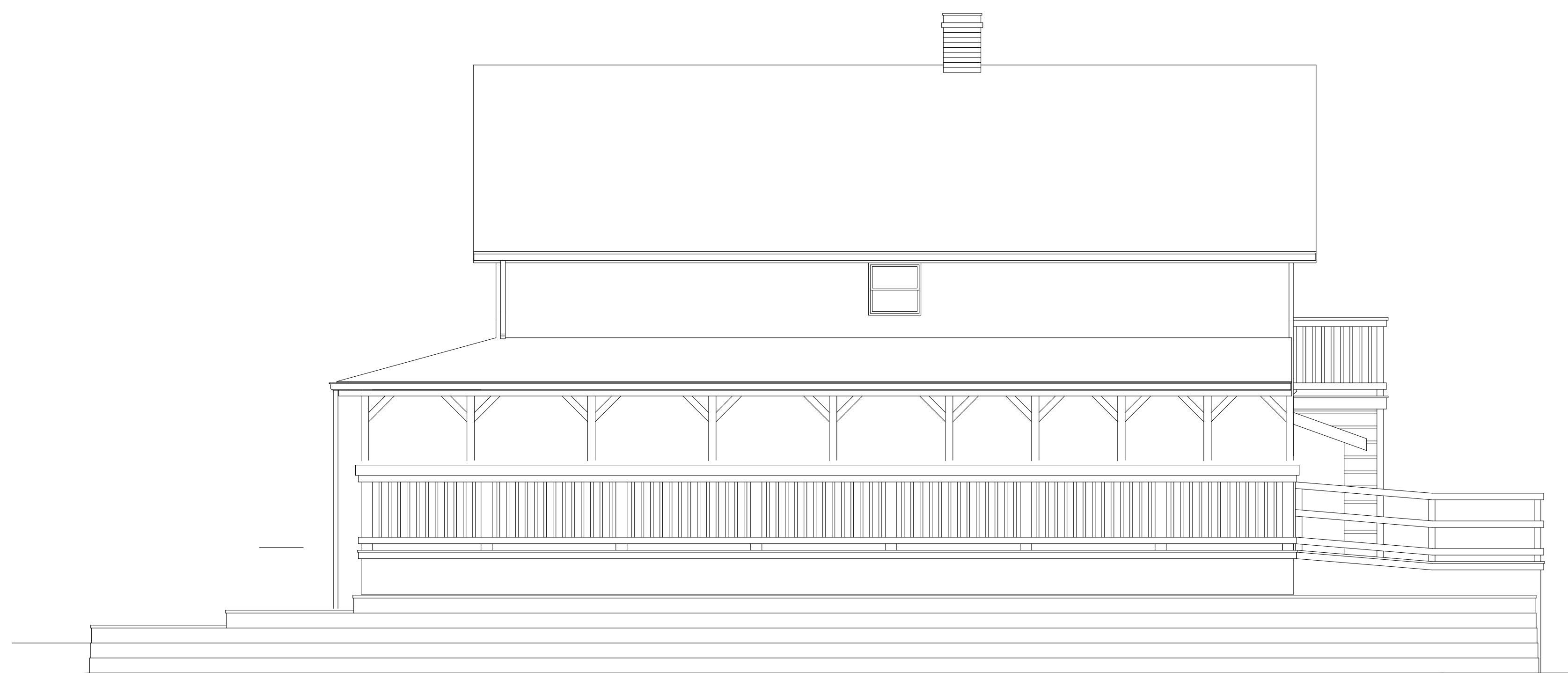
PRE-EXISTING  
RIGHT ELEVATION

1/4"=1'-0"



PRE-EXISTING  
LEFT ELEVATION

1/4"=1'-0"



PRE-EXISTING  
FRONT ELEVATION

1/4"=1'-0"

PRE-EXISTING ELEVATIONS



3/19/2025

**REED**  
RICHINS  
ARCHITECT  
A MEMBER OF WEFALL ARCHITECTS LTD  
OH LICENSE #9890 EXP. 12-31-25  
5189 Park Drive  
Medina, OH 44130  
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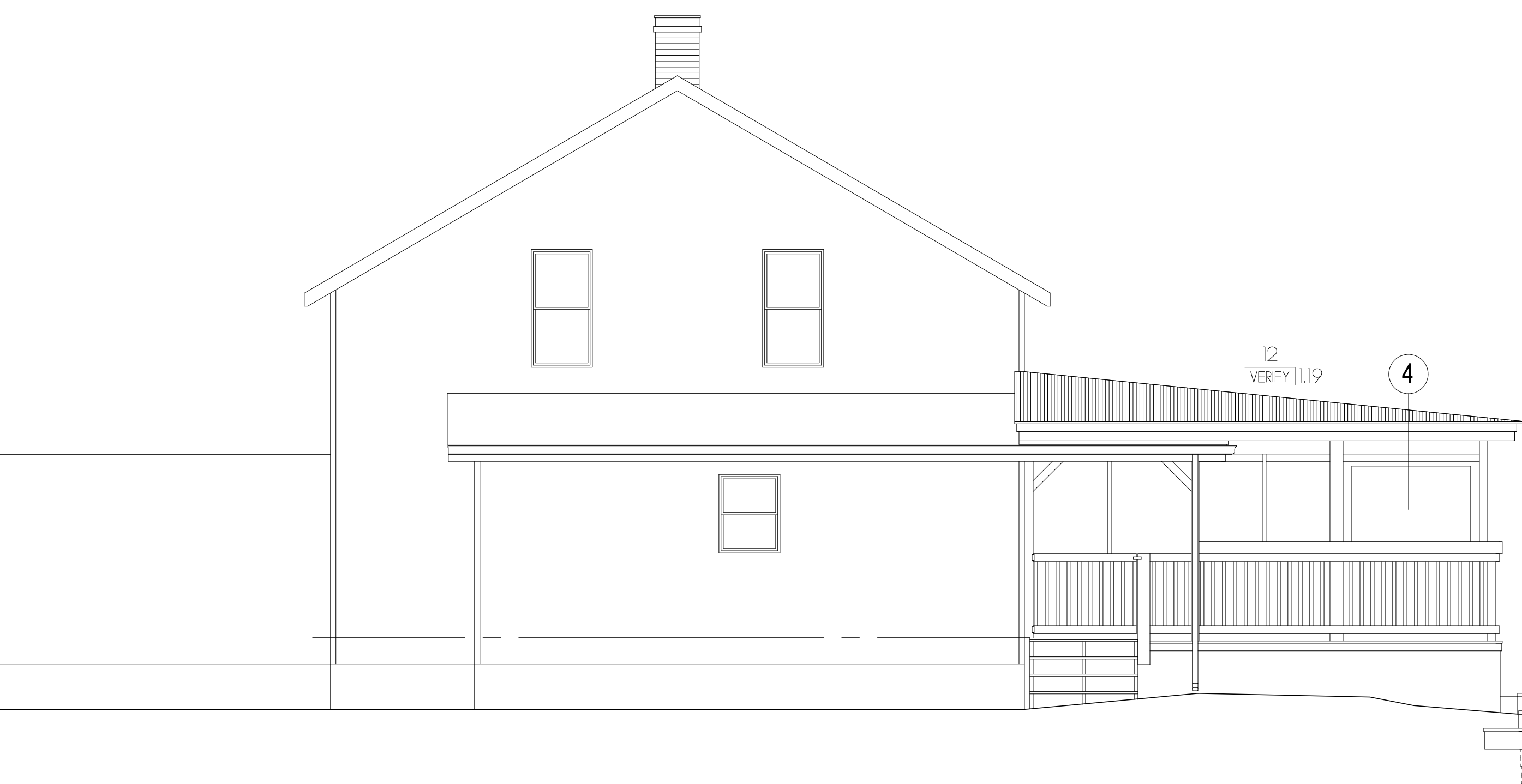
Diner 42 Porch Enclosure  
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SHEET NO.  
**1**



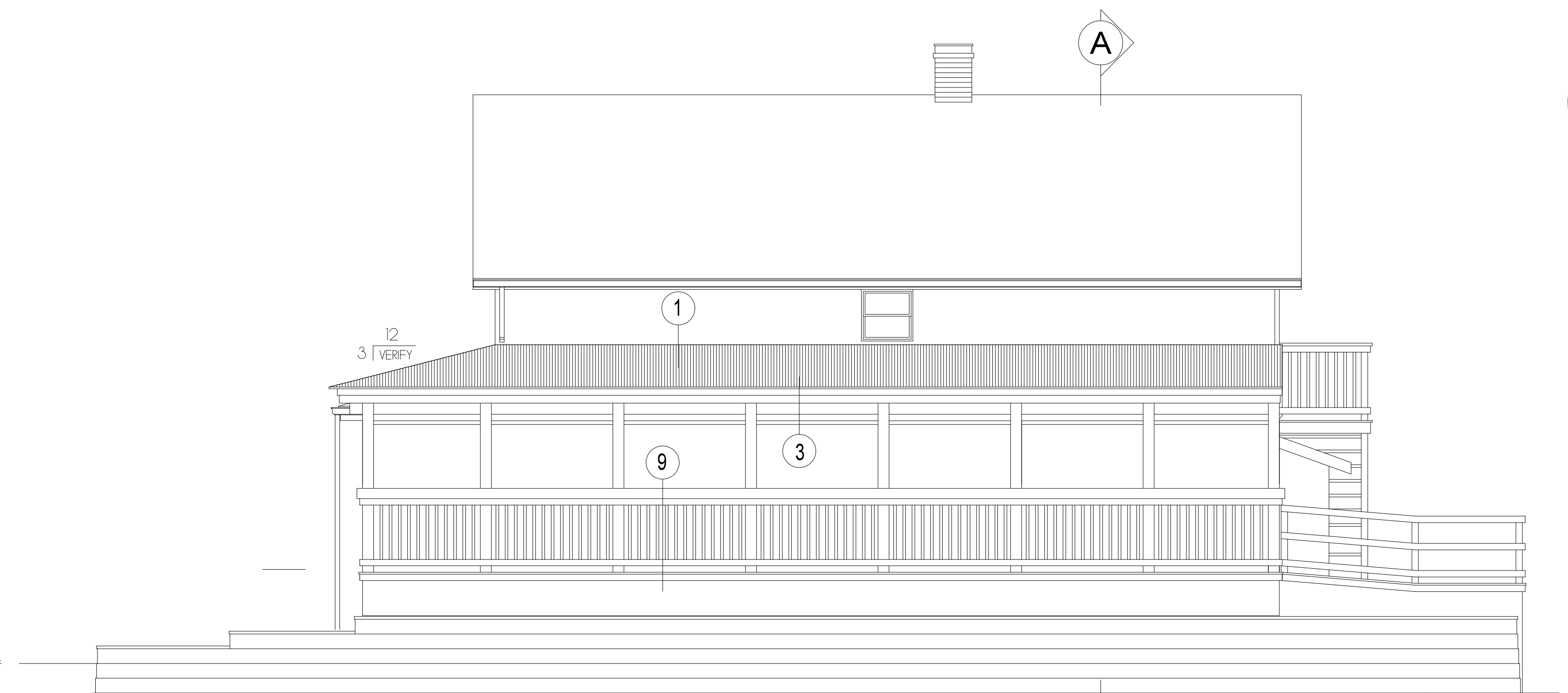
PROPOSED RIGHT ELEVATION

1/4"=1'-0"



PROPOSED LEFT ELEVATION

1/4"=1'-0"



PROPOSED FRONT ELEVATION

1/4"=1'-0"



3/19/2025

REED  
RICHINS  
ARCHITECT  
A MEMBER OF WEPALL ARCHITECTS LTD  
OH LICENSE #9890 EXPIRES 12-31-25  
5189 Park Drive  
Medina, OH 44130  
(330) 889-6392

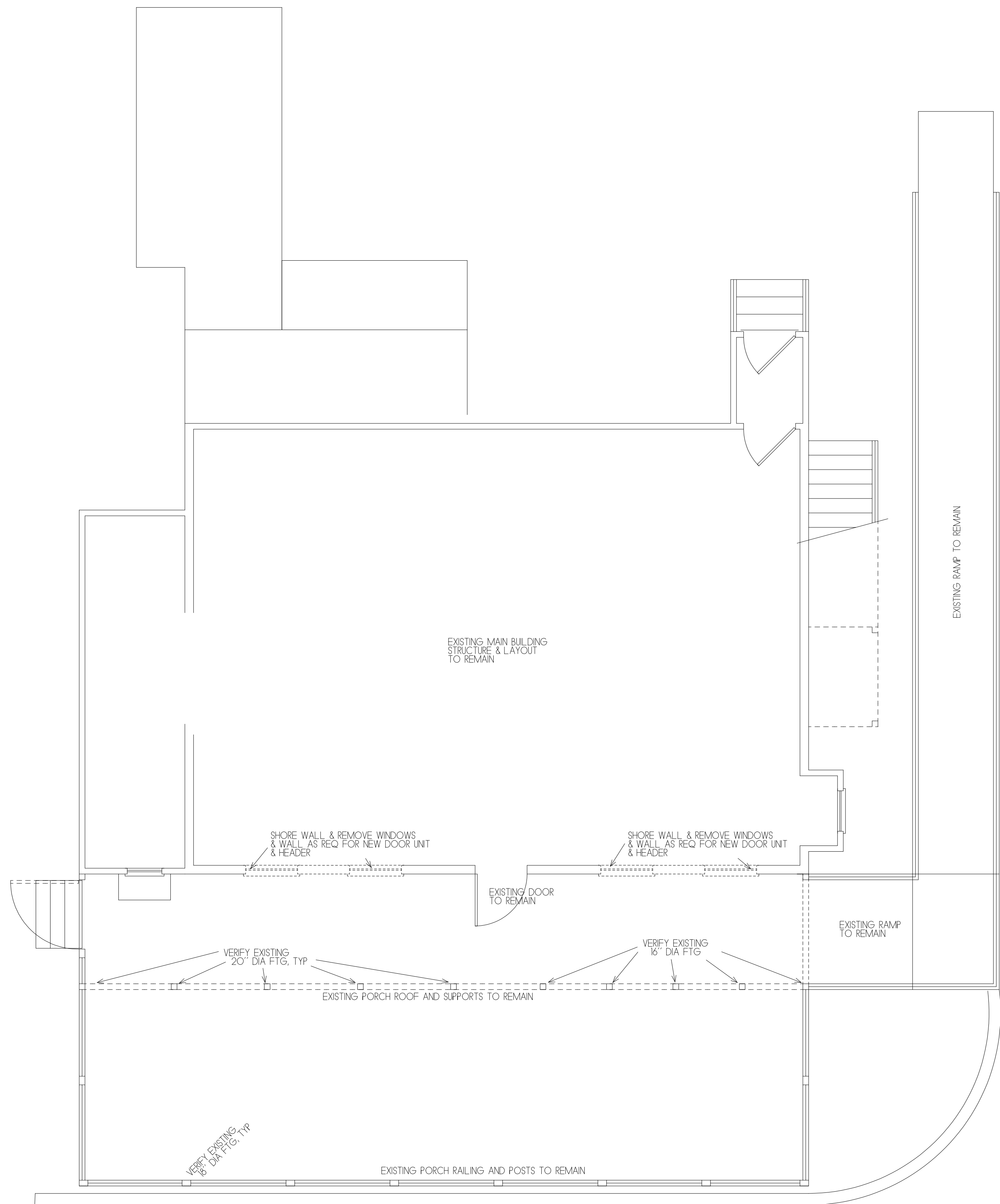
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APPROVED BY  
REVISIONS

SHEET NO.

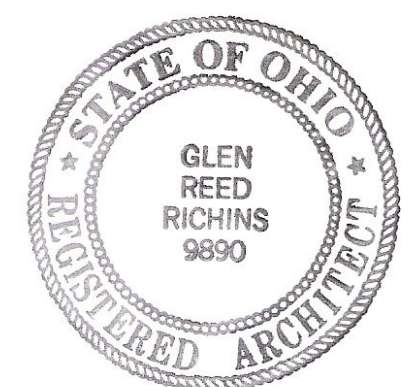
1A

PROPOSED ELEVATIONS





PRE-EXISTING/DEMO  
FIRST FLOOR PLAN  
1/4"=1'-0"



*Glen Reed Richins*  
3/19/2025  
**REED**  
RICHINS  
ARCHITECT

A MEMBER OF WSPALL ARCHITECTS LTD  
OH LICENSE #9890 EXPRES 12-31-25  
5189 Park Drive  
Medina, OH 44130  
(330) 889-6592

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GENERAL NOTES:

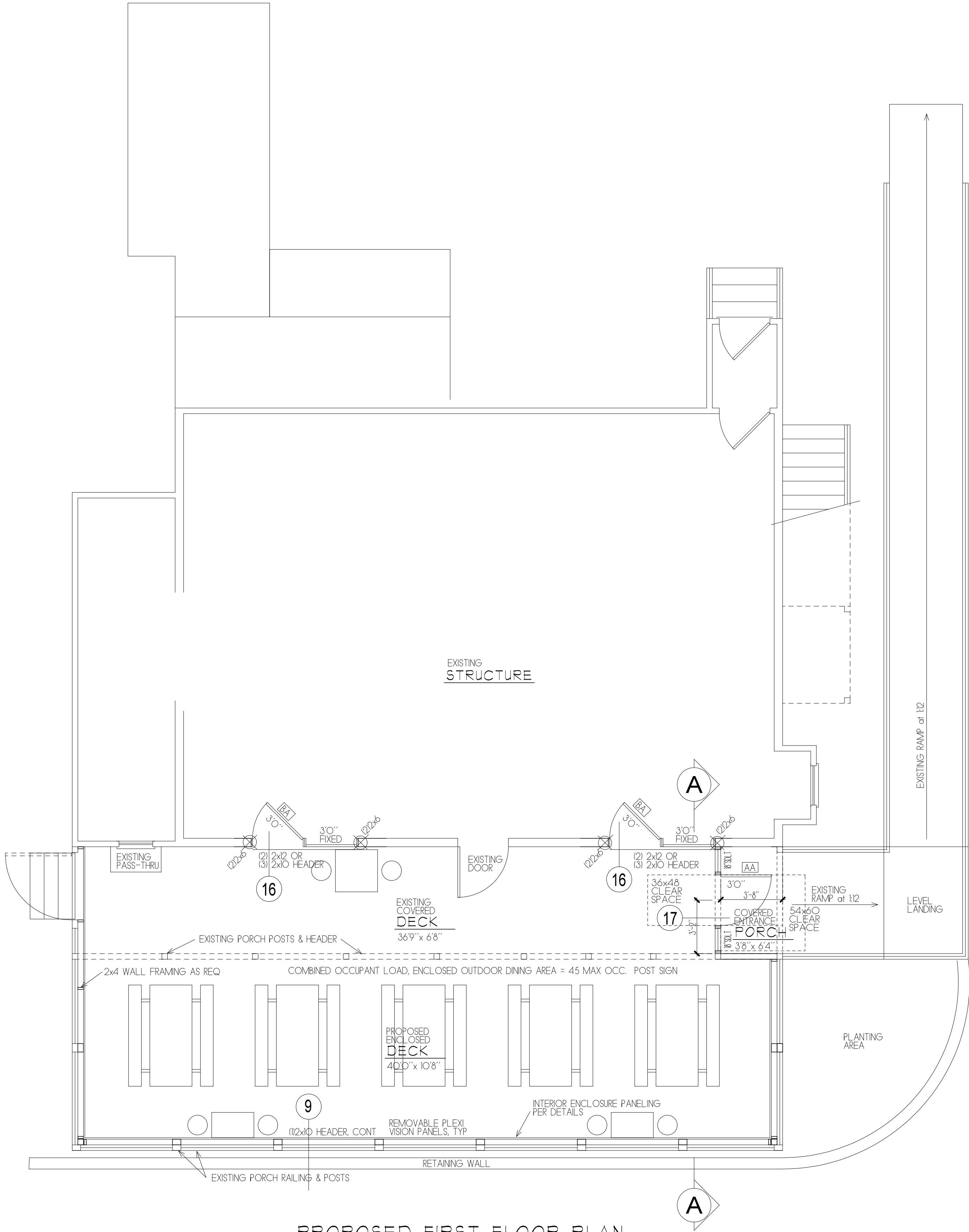
- The contractor shall examine and become familiar with all contract documents, including all specifications and selections in their entirety. The contractor shall survey the project & become familiar with all existing conditions and scope of work. All costs submitted shall be based on a thorough knowledge of work and materials required. Any discrepancy and/or uncertainty as to what material or product is to be used shall be verified with the Owner and/or Architect prior to construction/installation.
- All construction shall comply with the 2024 Ohio Building Code and all other applicable state & local codes.
- The Contractor will be solely responsible for construction means, methods, techniques, sequences, and procedures required for safe execution and completion of work, and for initiating, maintaining and supervising all safety precautions and programs in connection with the work.
- Any errors, omissions or inconsistencies on these drawings, or any variations or ambiguities between these drawings and actual site and construction conditions and/or requirements shall be brought to the attention of the Architect, prior to construction.
- In the event a discrepancy is found in the contract documents the Owner & Architect shall be notified immediately, prior to construction.
- Contractor shall verify all dimensions in the field and notify the Architect of any discrepancies, prior to construction.
- Contractor shall verify all measurements at the site and be responsible for accuracy and correctness of same.
- Contractor shall coordinate his work with all other trades, and notify Owner & Architect of any discrepancies.
- All work and equipment shall be fully guaranteed for one (1) year from the date of certificate of occupancy for each building.
- Materials shall be stored in spaces designated by Owner.
- Rubbish shall be removed from premises regularly, and site shall be maintained in a safe and presentable condition.
- All work and equipment shall be cleaned to the satisfaction of the Owner before Owner's acceptance.
- Shop drawings shall be submitted to the Architect for approval prior to ordering and installing any equipment and/or fabrication.
- The Contractor shall give all notices, file all necessary drawings, and obtain all permits and certificates or approval required in connection with this work under these contract documents. The contractor shall comply with all laws, ordinances, rules and regulations of all authorities having jurisdiction.
- There shall be no deviation from specifications without the written approval of the Owner, Architect and/or Engineer.
- All framing shall be in conformance with the American Forest & Paper Association "Wood Frame Construction Manual", and with additional framing provisions per structural drawings herein.
- All lumber to be grade marked. Species and grade shall be per plans.
- Conventional details shall apply where no special detail or section is shown. The Architect will review any detail submitted for clarification by the Contractor.

CONSTRUCTION NOTES:

- Rough frame dimensions given:  
All exterior 2x4 walls are 4" including sheathing.
- Wall heights per elevations and details.
- Refer to plan for location of interior bearing points as indicated.
- Provide horizontal and vertical fireblocking as required by Code.
- Roofing shall be Minimum Class-C except as noted.
- Downspouts where occur shall be connected to storm drains.
- Maximum flame spread rating on all interior finish materials shall not exceed 200.
- Provide corrosion-resistant flashing at the intersection of walls and roofing, per details.
- Coordinate additional blocking required for mech/elec equipment furred ceilings and related items.
- Structural headers (2) 2X10, except as noted or per details.
- Install headers at nominal 6'-10" AFF except as noted otherwise.
- Doors nominal 6'-8" except as noted otherwise.
- Flooring shall be per Interior Finish Schedule below.
- Install cladding & siding per manufacturer's recommendations for attachment and flashing.
- Roof gutters: Minimum 4" ogee K-style w/ plain rectangular downspout to fit, only where indicated per plan. Discharge downspouts into storm drains per Civil plans.
- Provide fire extinguishers per Medina Fire Dept requirements and per Code.
- Provide accessible lever hardware per ANSI A117.1 at all doors.
- Provide solid blocking at all ceiling fans. See MEP drawings for locations.
- Provide tempered glazing at patio doors per Code.
- Design wind speed is 115 MPH.

DECK ENCLOSURE INTERIOR FINISH SCHEDULE:

- WALLS: NATURAL CEDAR PANELING WITH SMOOTH FINISH
- FLOORS: NON-SLIP PAINT ON EXISTING DECKING/  
INDOOR/OUTDOOR CARPET OVER EX DECKING
- CEILINGS: PAINT ON EXISTING SOFFIT/EXPOSED ROOF STRUCTURE
- BASE: SELF-BASE OF NATURAL CEDAR PANELING
- CASING: SELF-CASING OF NATURAL CEDAR PANELING



PROPOSED FIRST FLOOR PLAN

272 SF EXISTING COVERED DECK AREA  
449 SF ADDTL PROPOSED COVERED DECK AREA  
-23 SF PROPOSED EXT COVERED ENTRANCE  
698 SF PROPOSED GROSS COVERED DECK AREA  
668 SF PROPOSED NET COVERED DECK AREA

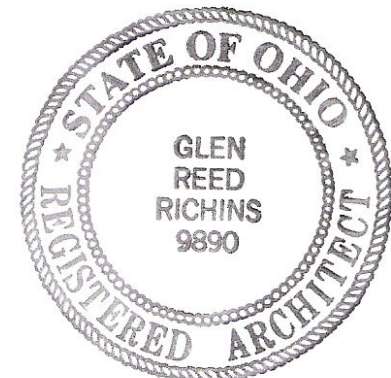
1/4"=1'-0"

DOOR SCHEDULE

DOOR	HARDWARE
A COMMERCIAL OUTSWING FULL LIGHT ENTRY DOOR SET	KEYLOCK LEVER
B HINGED INSWING FULL LIGHT PATIO DOOR SET	

DOOR NOTES:

- DOOR HEIGHT 6'8" EXCEPT AS NOTED: WIDTH PER PLAN.
- DOOR FUNCTION (SWING, ETC) AS INDICATED ON PLAN.
- ALL SWINGING DOORS PREHUNG IN CLAD WOOD FRAMES.
- EXT DOOR & PATIO DOORS TO HAVE ACCESSIBLE THRESHOLDS PER DETAILS.
- KEYLOCK HARDWARE SHALL ALLOW EGRESS WITHOUT KEY.
- ENTRY DOORS & PATIO DOOR LOCKS TO HAVE SAME KEY NUMBER.
- EXT DOOR BASS OF DESIGN: ANDERSEN



3/19/2025  
GLEN REED RICHINS  
ARCHITECT

A MEMBER OF THE ARCHITECTS  
OF THE STATE OF OHIO  
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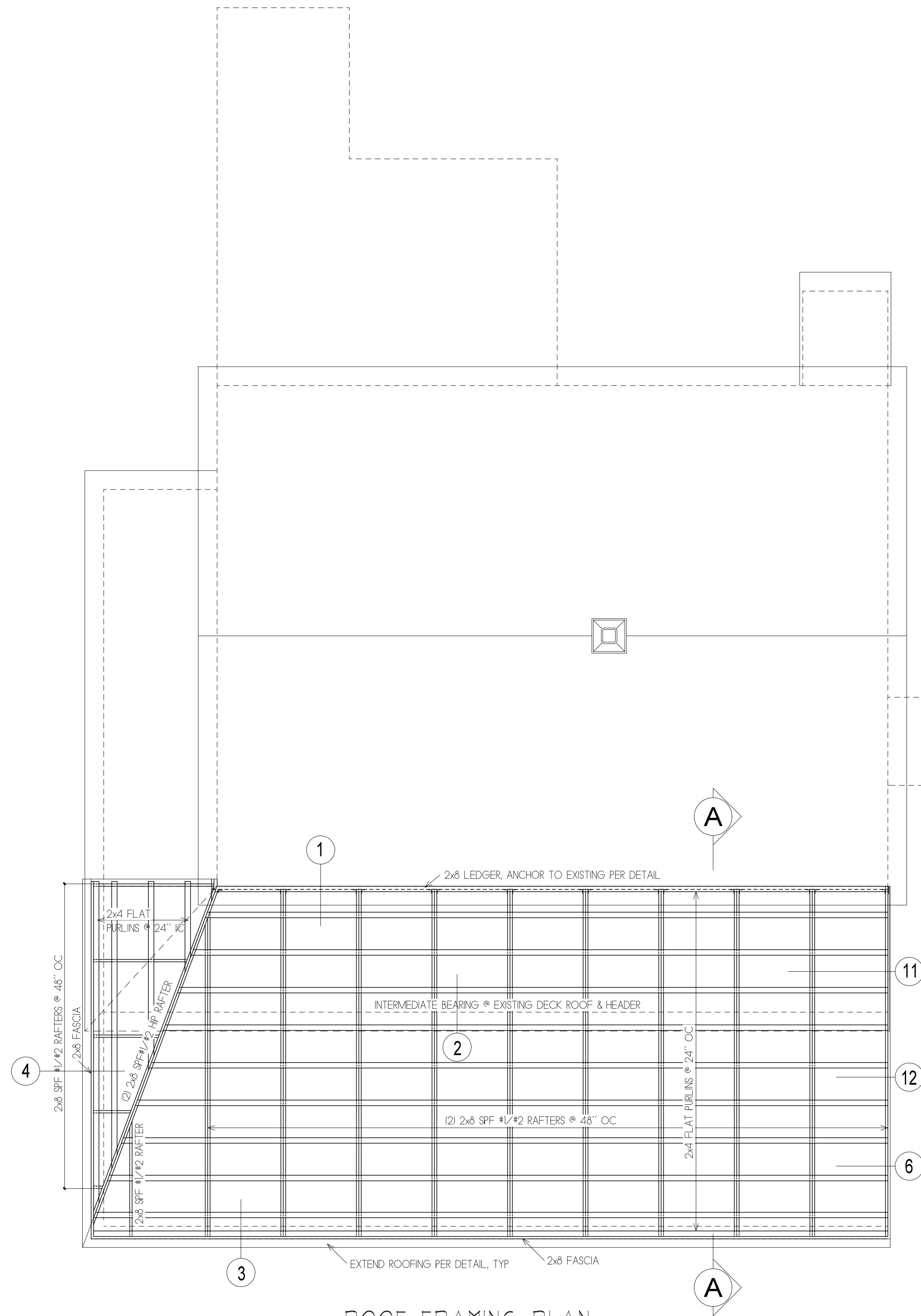
Diner 42 Porch Enclosure

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APPROVED BY  
REVISIONS

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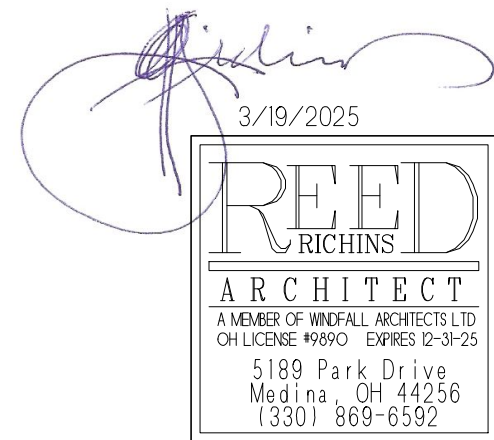
2A





ROOF FRAMING PLAN

- NOTES:
1. BRACE OVERFRAMING TO STRUCTURE BELOW AS REQUIRED.
  2. VERIFY EXISTING CONSTRUCTION.
  3. NO INTERIOR BEARING EXCEPT AS INDICATED.



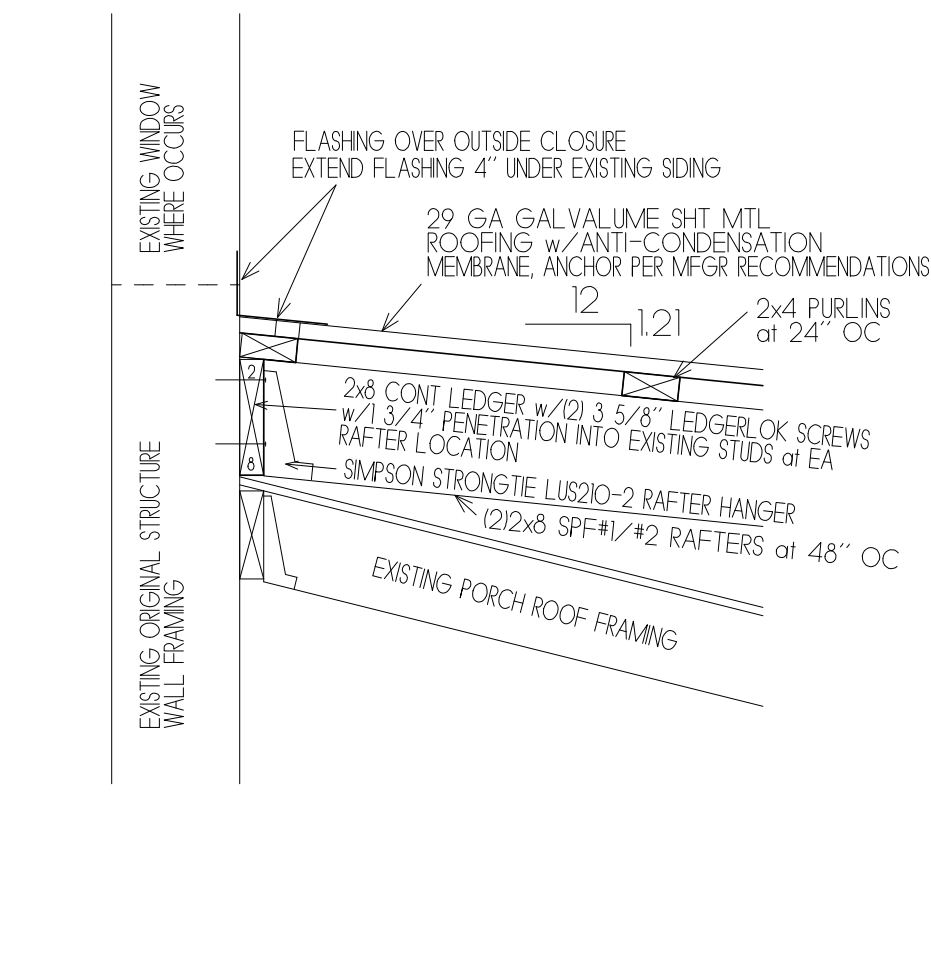
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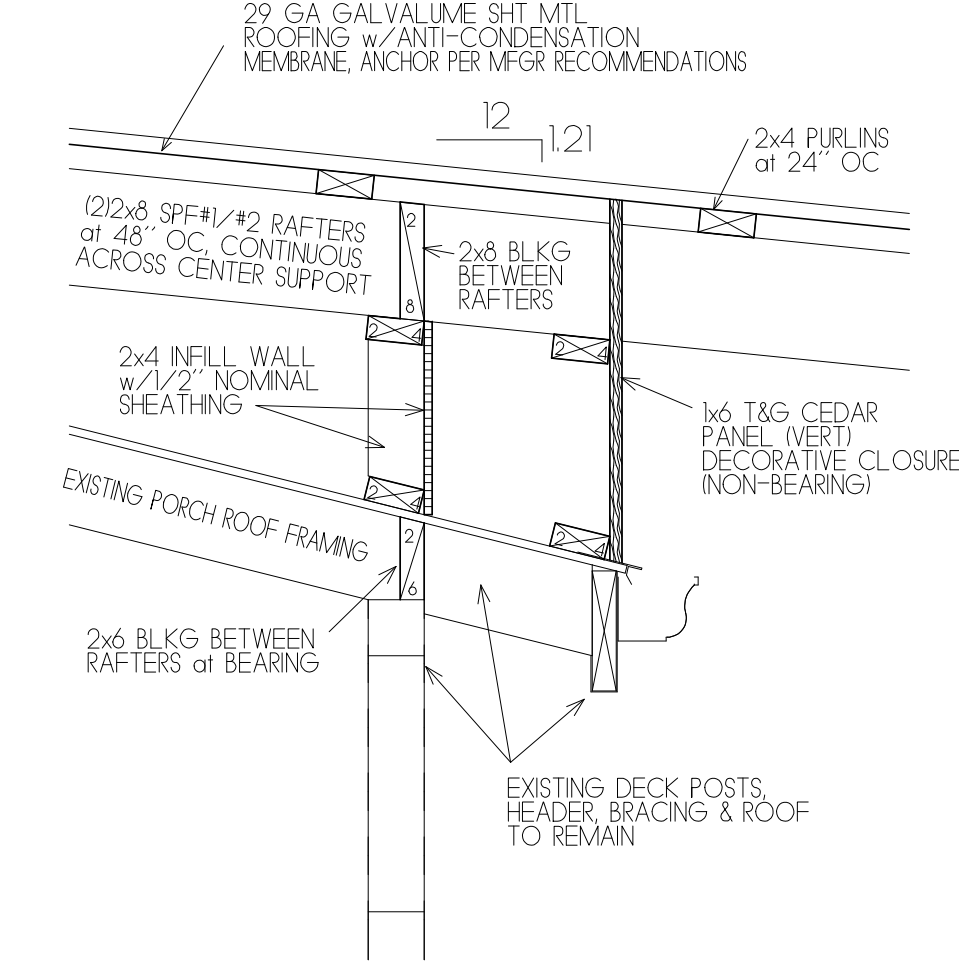
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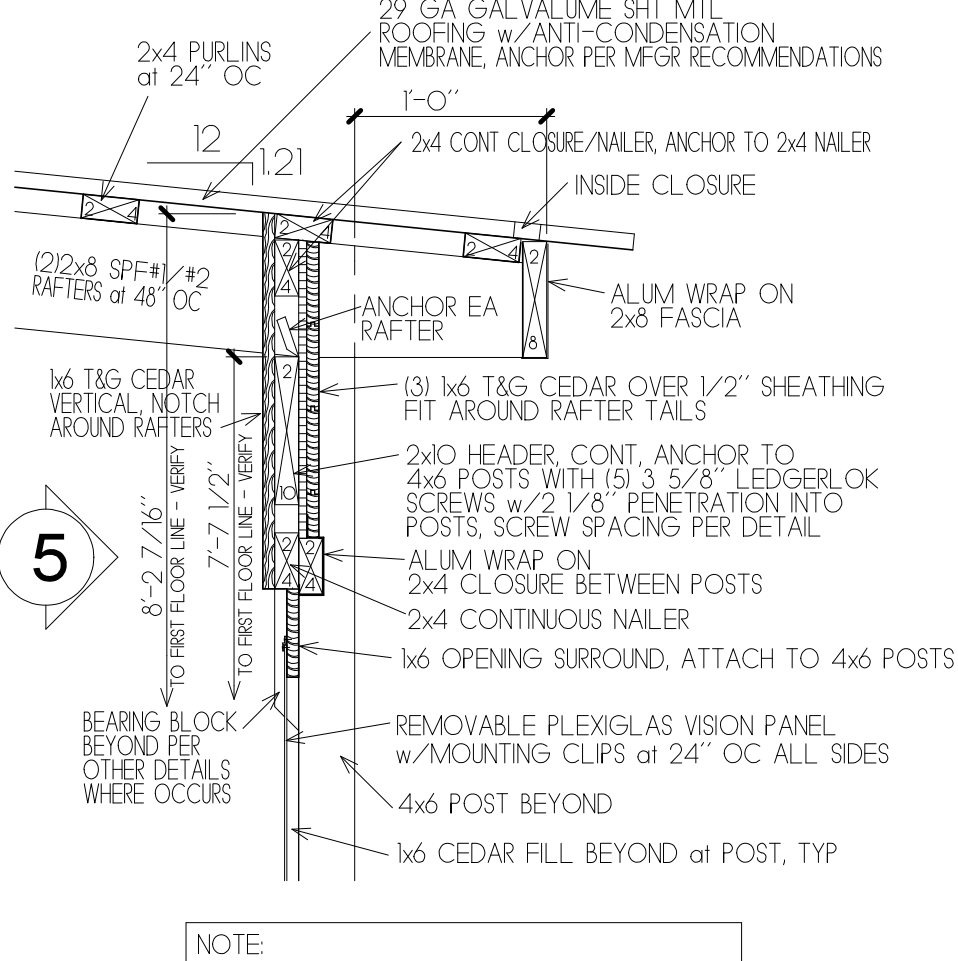
ROOF PLAN



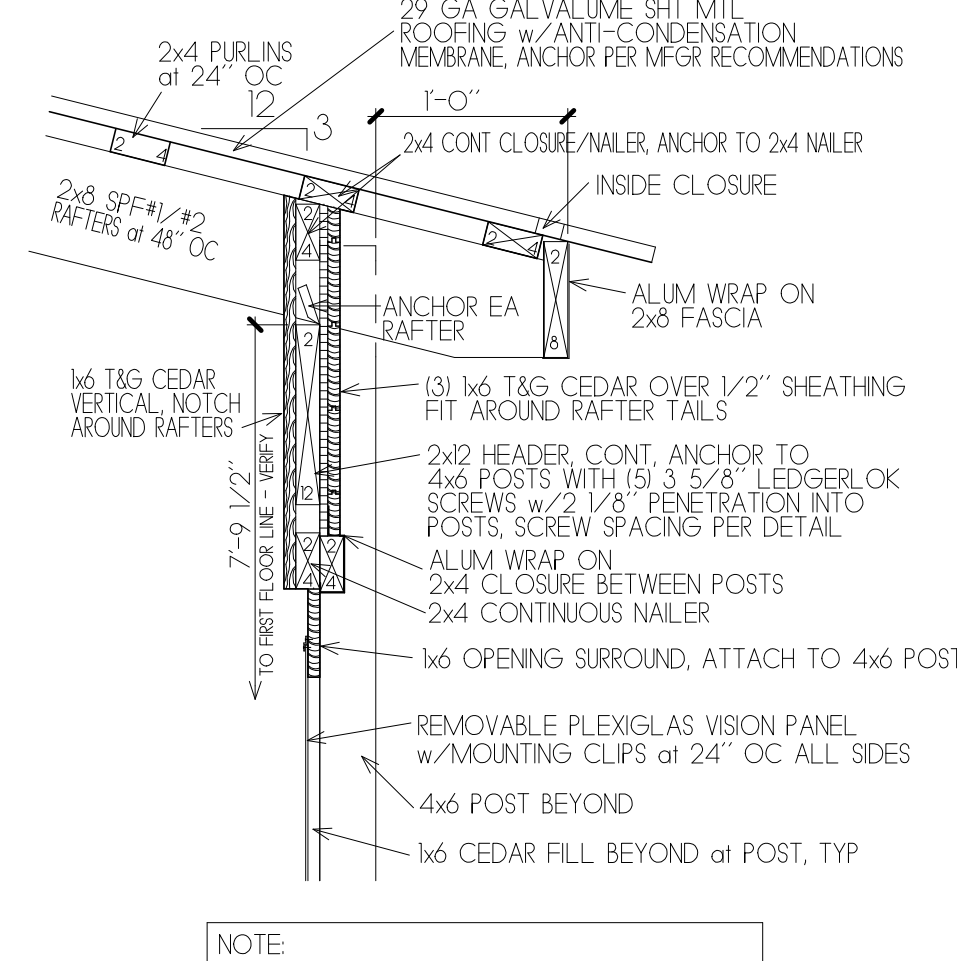
1 RAFTER LEDGER at EXISTING WALL  
RR 1/3/25



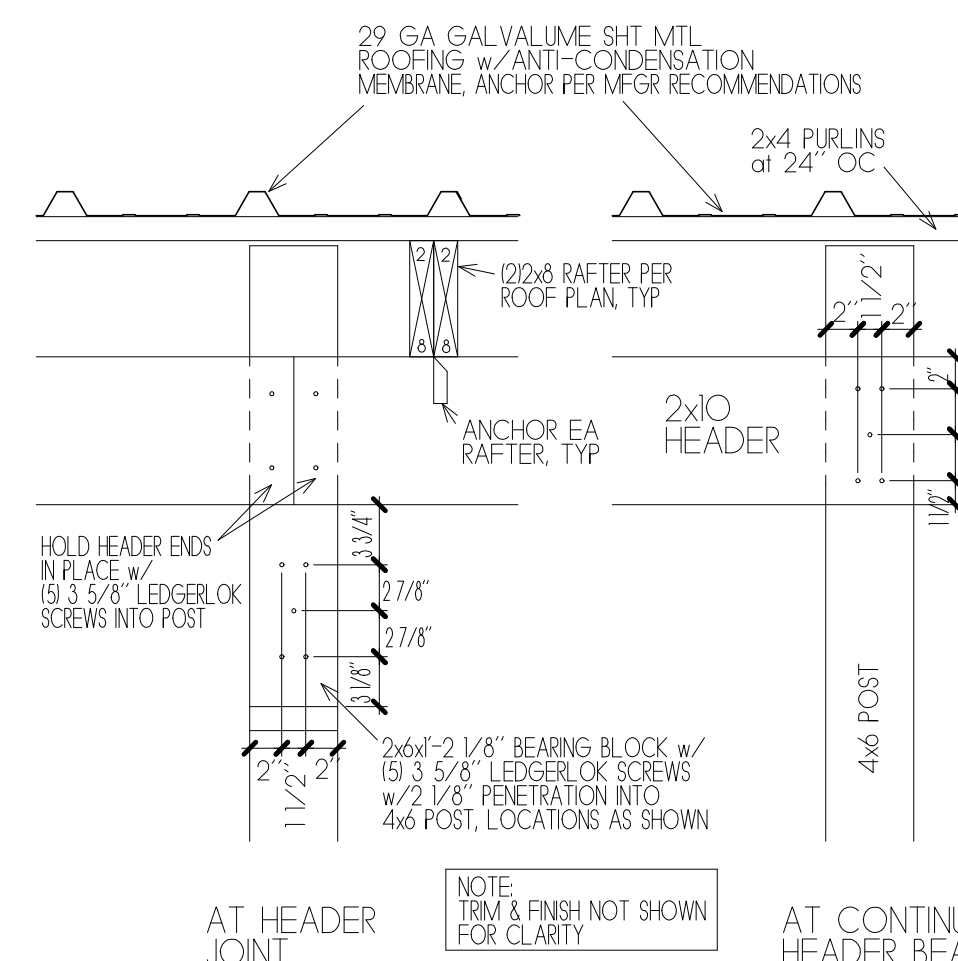
2 INTERMEDIATE RAFTER BEARING  
RR 1/3/25



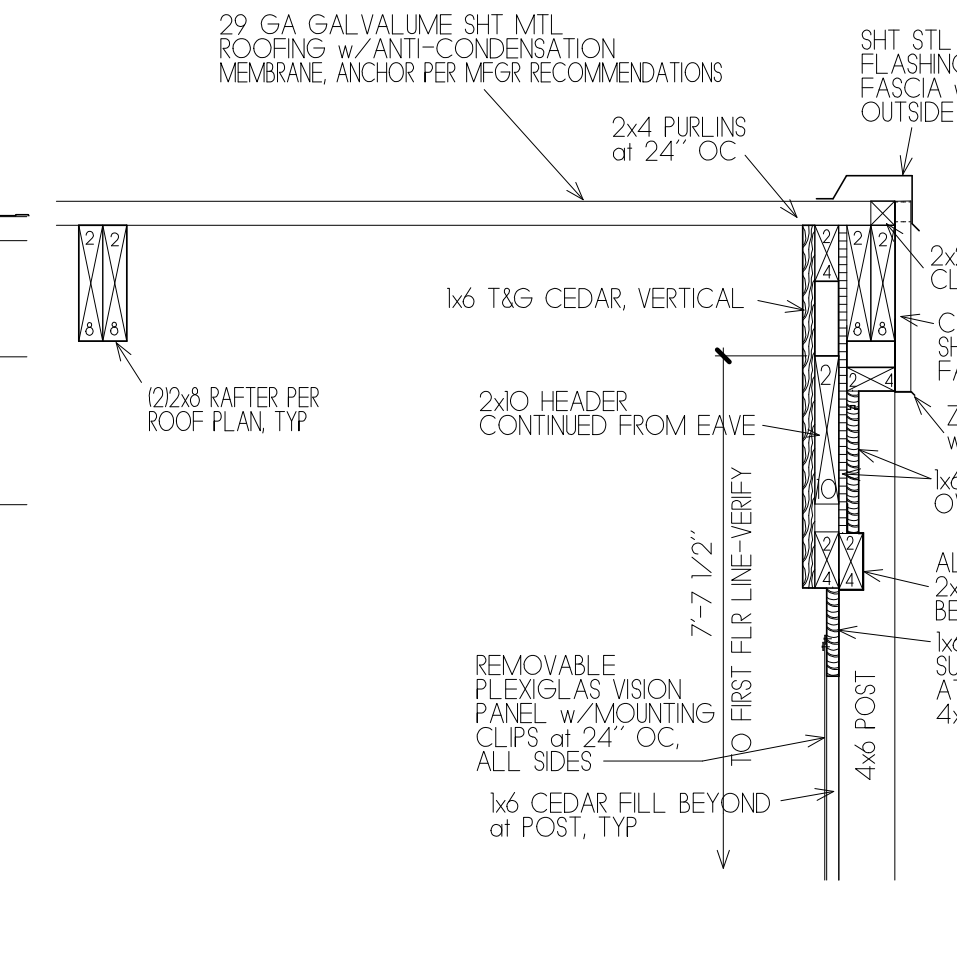
3 EAVE  
RR 12/30/24



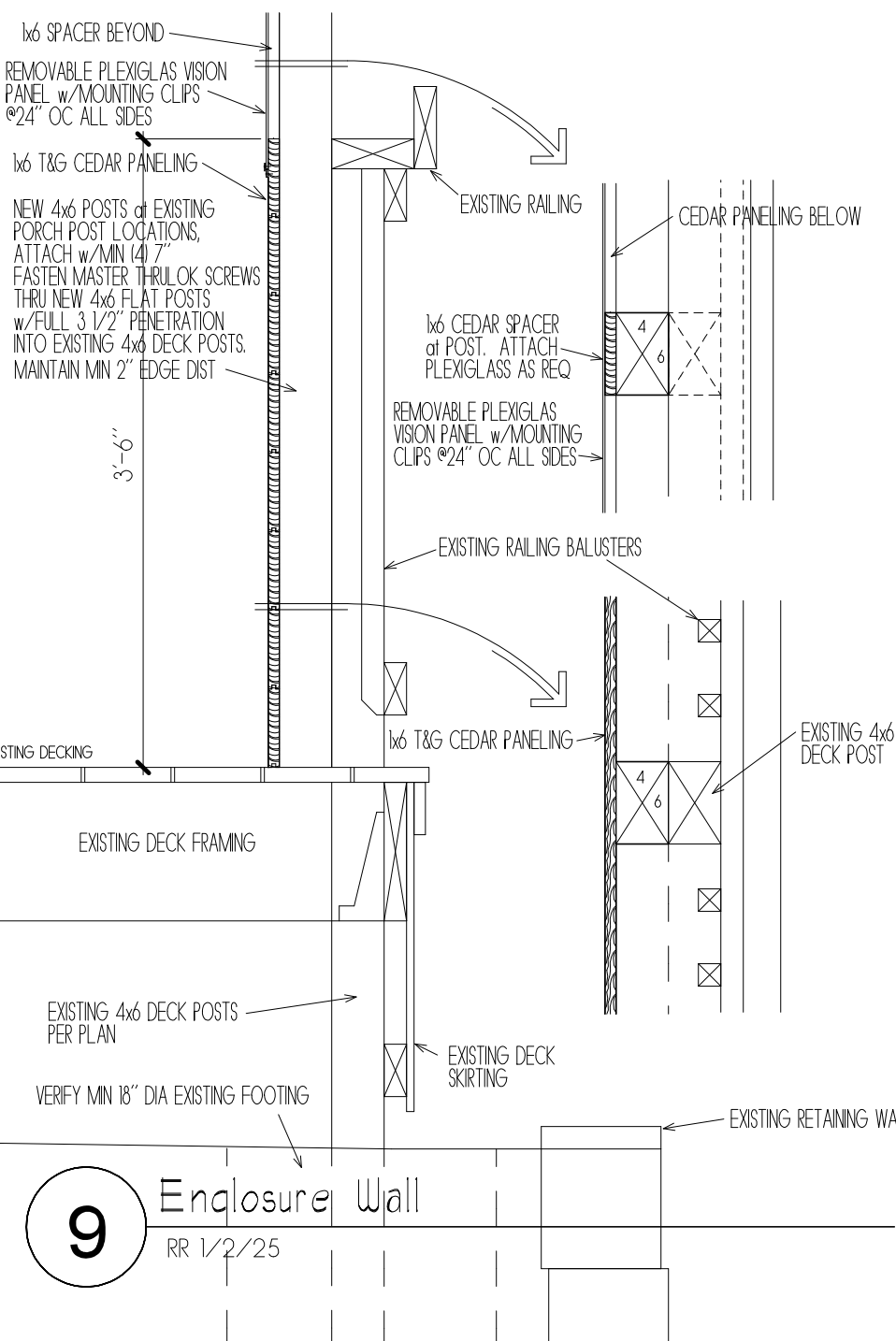
4 EAVE at ROOF RETURN  
RR 1/8/25



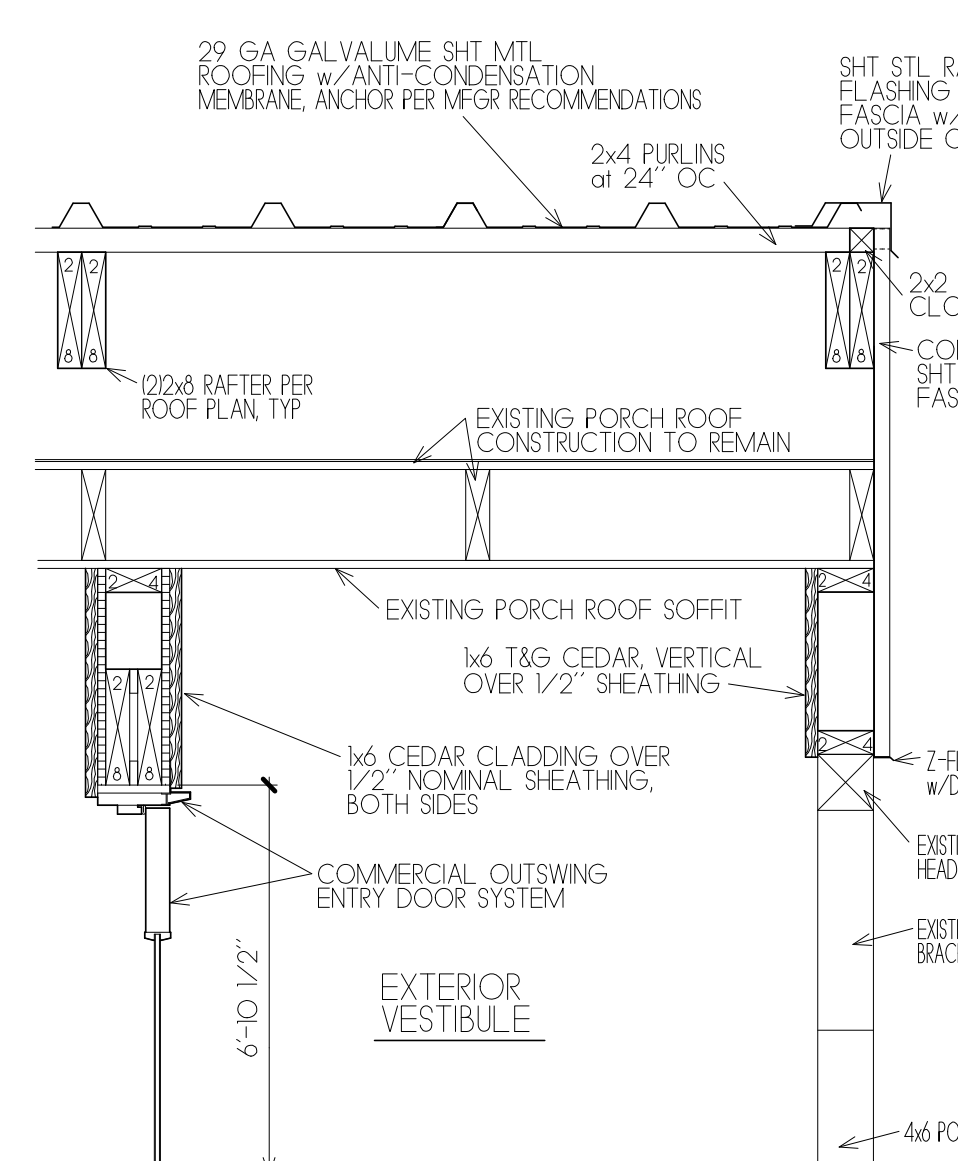
5 HEADER ATTACHMENT  
RR 12/31/24



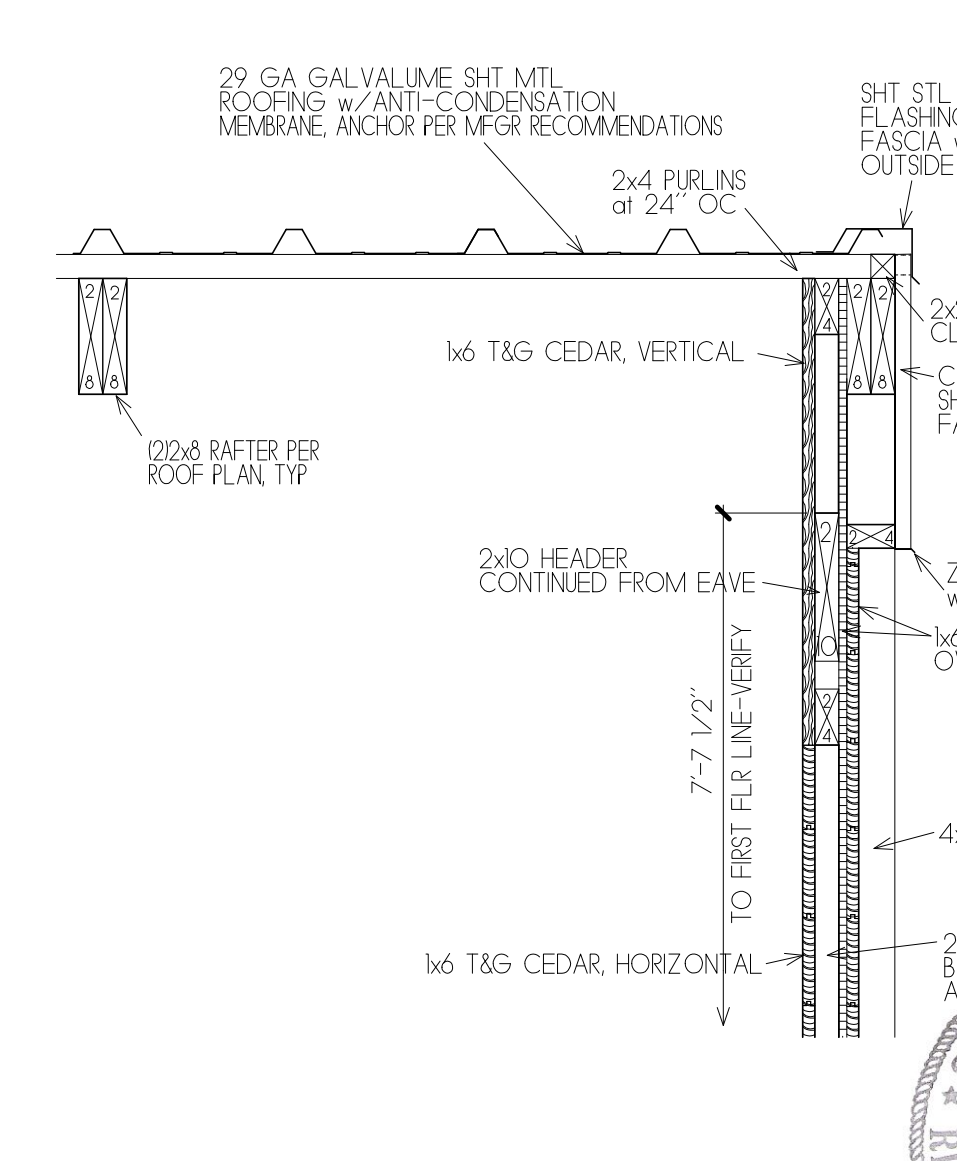
6 RAKE at OPENING  
RR 1/3/25



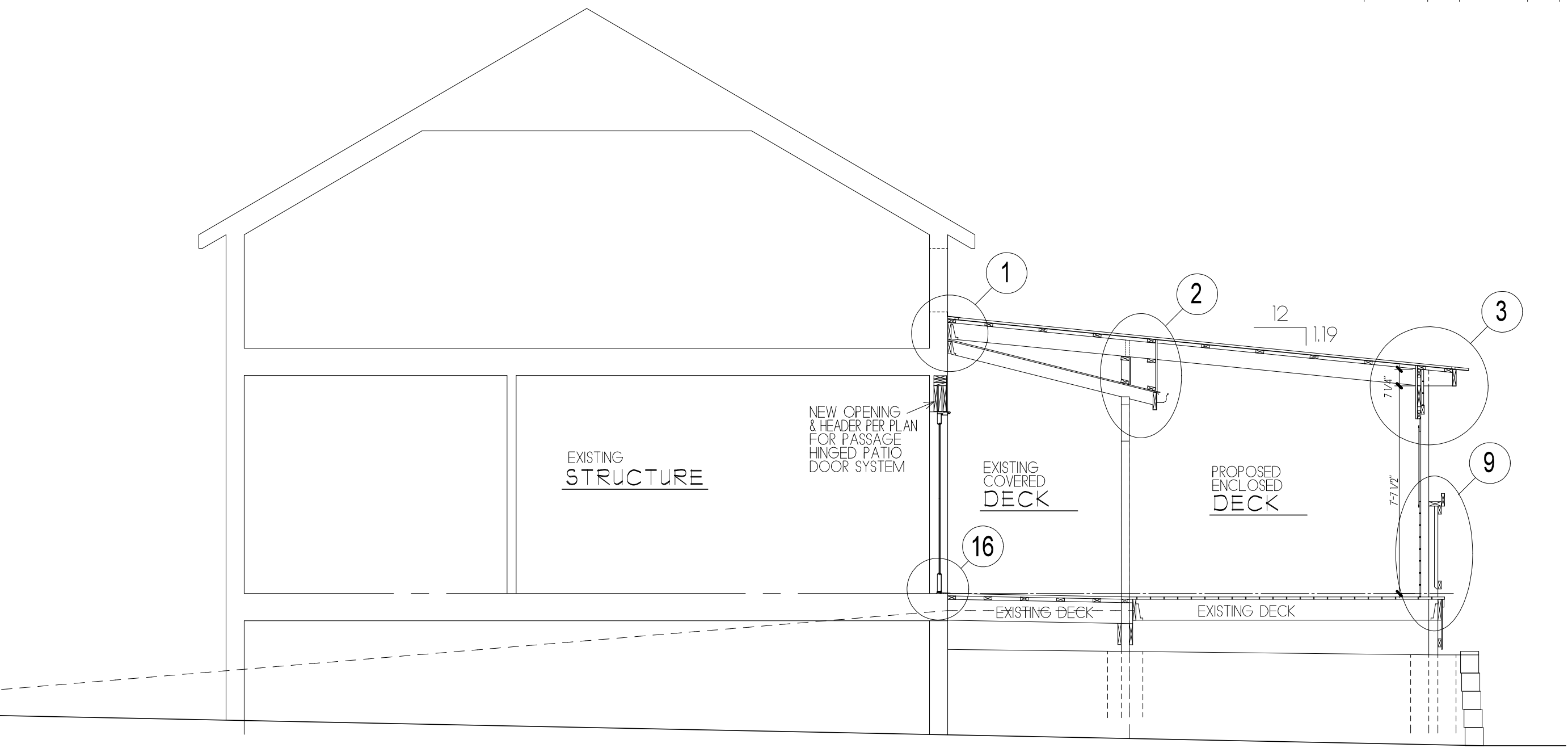
9 Enclosure Wall  
RR 1/2/25



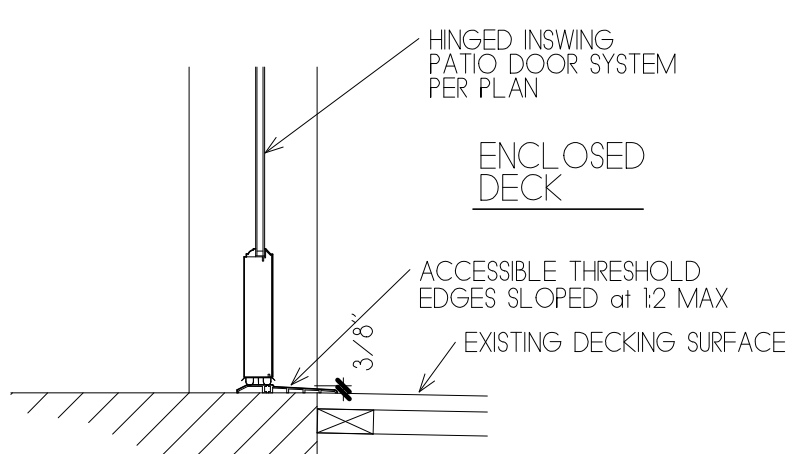
11 RAKE at ENTRANCE  
RR 1/8/25



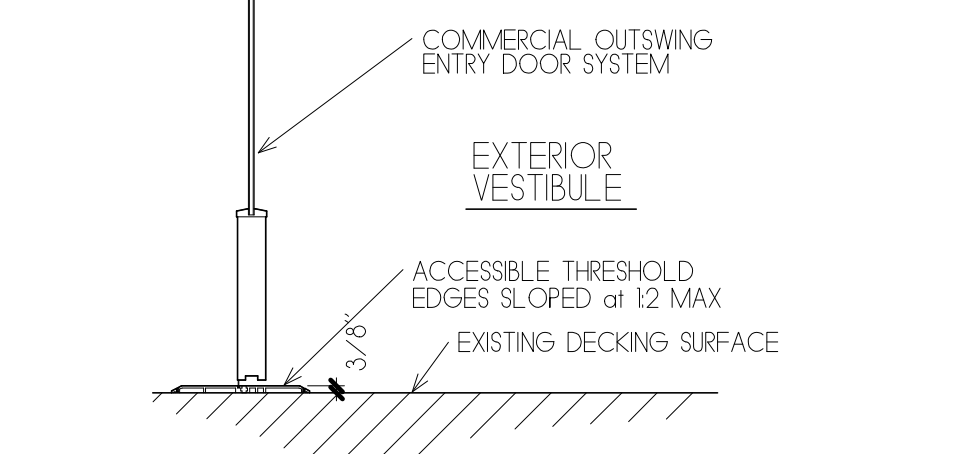
12 RAKE at CLOSED BAY  
RR 1/6/25



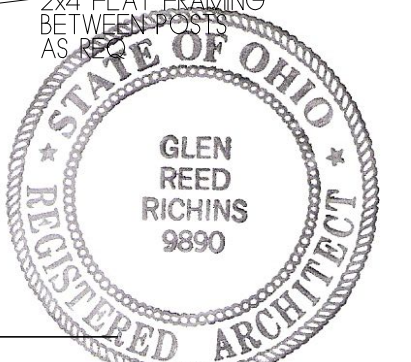
BUILDING SECTION A-A  
1/4"=1'-0"



16 THRESHOLD at PASSAGE  
RR 1/8/25



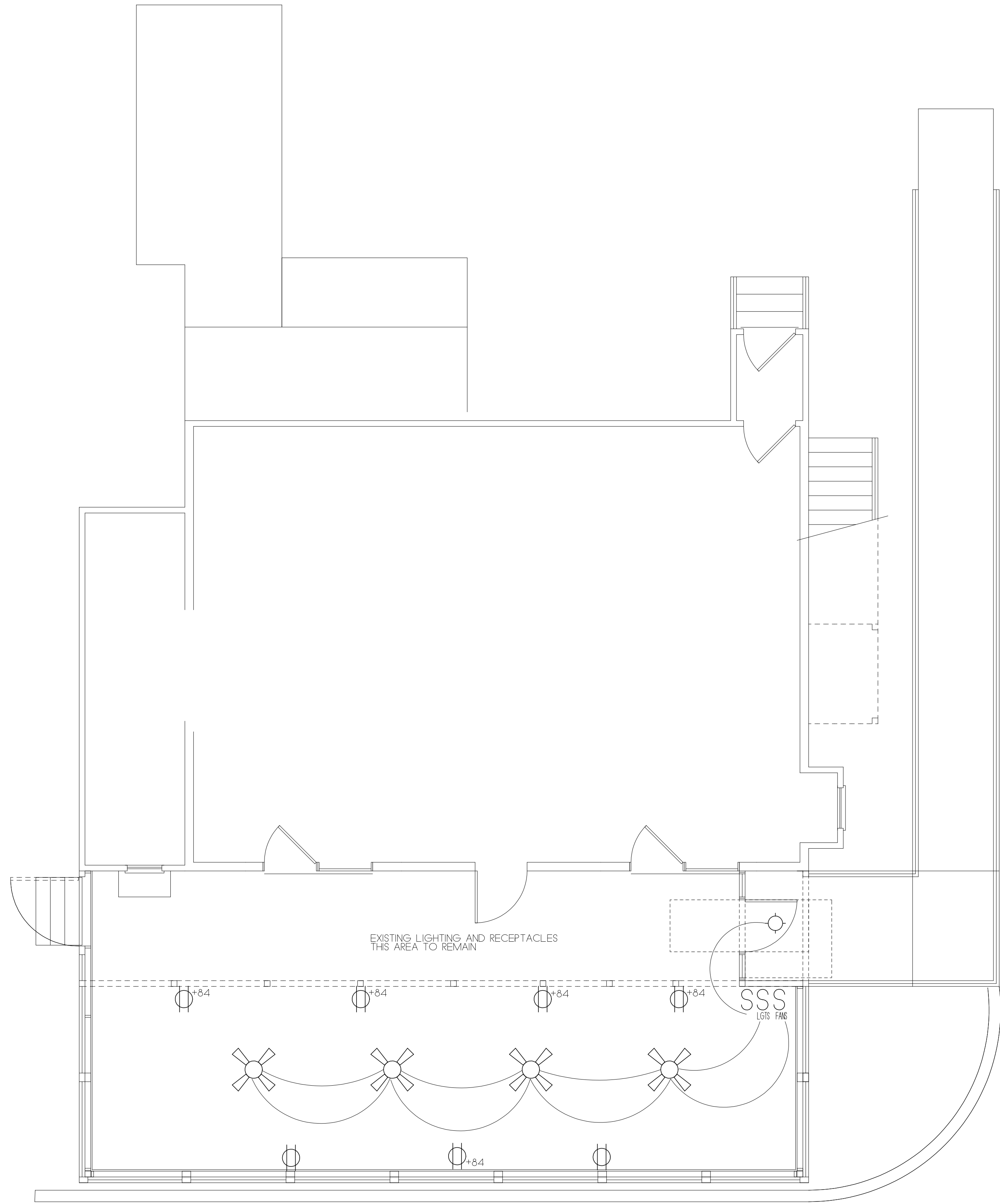
17 THRESHOLD at ENTRANCE  
RR 1/8/25



Diner 42 Porch Enclosure  
JOB NO. BA-Diner 42  
DATE 2/8/25  
DRAWN BY RR  
APPROVED BY  
REVISIONS

SHEET NO.  
5





PROPOSED DINING DECK ELECTRICAL LAYOUT

1/4"=1'-0"

NOTES:  
1. ELECTRICIAN SHALL VERIFY PANEL CAPACITY FOR NEW LOADS AS SHOWN.  
2. ALL ELECTRICAL WORK SHALL CONFORM TO CURRENT NATL ELEC CODE.

ELECTRICAL KEY

- S TOGGLE SWITCH @ 42" AFF
- SURFACE-MOUNT LED FIXTURE PER OWNER SELECTIONS
- ⊕ CEILING FAN w/LIGHT KIT PER OWNER SELECTIONS
- ⊞ DUPLEX RECEPTACLE



3/19/2025

REED  
RICHINS  
ARCHITECT  
A MEMBER OF WDPALL ARCHITECT LTD  
OH LICENSE #9890 EXPRES 12-31-25  
5189 Park Drive  
Medina OH 44130  
(330) 889-6592

Diner 42 Porch Enclosure

JOB NO. BA-Diner 42  
DATE 2/6/25  
DRAWN BY RR  
APPROVED BY  
REVISIONS

SHEET NO.

E