




BOARDS & COMMISSIONS APPLICATION

132 North Elmwood Avenue
330-722-9038
www.medinaoh.org

Application Number **225-08**

GENERAL	Date of Application <u>3/20/2025</u>
	Property Location <u>1055 W Smith Road</u>
	Description of Project <u>Sandridge Marketing and Culinary Center</u>
CONTACT INFORMATION	Applicant
	Name <u>Joel Copley, Janotta & Herner</u>
	Address <u>309 Monroe St</u> City <u>Monroeville</u> State <u>Ohi</u> Zip <u>44847</u>
	Phone <u>(419) 681-5723</u> Email <u>joel@janottaherner.com</u>
	Property Owner
	Name <u>Sandridge Crafted Foods, Mr. Jordan Sandridge, Co-President</u>
Address <u>133 Commerce Drive</u> City <u>Medina</u> State <u>Oh</u> Zip <u>44847</u>	
Phone <u>(330) 764-6128</u> Email <u>jordan@sandridge.com</u>	
APPLICATION TYPE	Planning Commission Site Plan <input type="checkbox"/> Conditional Zoning Certificate <input type="checkbox"/> Code or Map Amendment <input type="checkbox"/>
	Preliminary Plan <input type="checkbox"/> Final Plat <input type="checkbox"/> Conditional Sign (EMC/Shopping Ctr) <input type="checkbox"/> TC-OV <input type="checkbox"/> Other <input type="checkbox"/>
	Historic Preservation Board Certificate of Appropriateness <input type="checkbox"/> Conditional Sign <input type="checkbox"/>
	Board of Zoning Appeals Variance <input checked="" type="checkbox"/> Appeal <input type="checkbox"/>
APPLICANT SIGNATURE	<i>By signing this application, I hereby certify that:</i> 1) <i>The information contained in this application is true and accurate to the best of my knowledge;</i> 2) <i>I am authorized to make this application as the property owner of record or I have been authorized to make this application by the property owner of record;</i> 3) <i>I assume sole responsibility for correspondence regarding this application; and</i> 4) <i>I am aware that all application requirements must be submitted prior to the formal acceptance of my application.</i>
	Signature <u>Joel Copley</u>  Date _____
OFFICIAL USE	Zoning District <u>I-1</u>
	Meeting Date <u>4/10/25</u>
	Fee (See Fee Sheet) \$ <u>200</u>
	Check Box when Fee Paid <input type="checkbox"/>

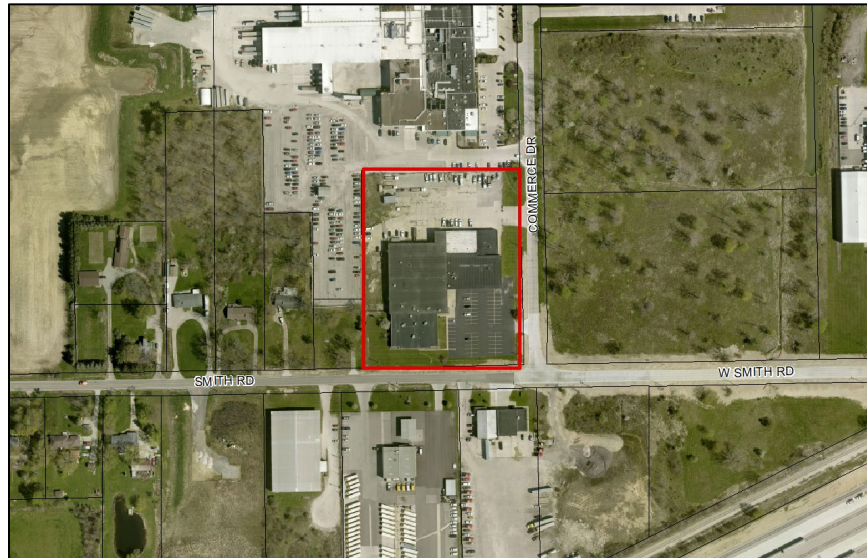
Z25-08 **Sandridge Wall Signs**

Property Owner: Gourmet Properties 3 LLC
Applicant: Joel Copley
Location: 1055 West Smith Road
Zoning: I-1 (Industrial)
Request: Sign variance to Section 1147.14(d) to allow more and larger building signs than permitted

LOCATION AND SURROUNDING USES

The subject site consists of 5 acres located on the northwest corner of West Smith Road and Commerce Drive. Adjacent properties are zoned I-1 and contain the following uses:

- North – Industrial
- East – Vacant
- South – Industrial and Bus Service Garage
- West – Parking and Vacant



BACKGROUND/PROPOSED APPLICATION

The property includes an existing 58,615 sq. ft. industrial and office building, which was most recently occupied by Corpro Waterworks. Sandridge is planning to occupy the space, upgrade the building and site, and install wall signs.

WALL SIGN NUMBER AND AREA (SECTION 1147.14(d.))

Section 1145.14(d) states that each commercial tenant space shall have only one wall sign on the primary building frontage with a maximum size of 1 sq. ft. per 1 ft. and one wall sign on the secondary building frontage with a maximum size of 1 sq. ft. per 4 ft.

As the site is a corner lot, the primary frontage is permitted one wall sign at 295 sq. ft. and the secondary frontage is permitted one wall sign at 75 sq. ft. (290 ft. of frontage/4).

The applicant is proposing two wall signs on the primary frontage and two wall signs on the secondary frontage, which exceed the maximum number permitted. In addition, as noted below, wall signs on the secondary frontage are 82 sq. ft. in area, which exceeds the maximum 75 sq. ft. permitted.

	Sign	Text/Logo	Area
Primary Frontage	A	Sandridge Crafted Foods	50 sq. ft.
	C	"S" Logo Large	114 sq. ft.
	Total		164 sq. ft.
Secondary Frontage	B	"S" Logo Small	32 sq. ft.
	D	Sandridge Crafted Foods	50 sq. ft.
	Total		82 sq. ft.

FACTORS APPLICABLE TO SIGN VARIANCES (SECTION 1107.08(i))

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

- Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;
- A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;
- Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;
- A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;
- The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;
- The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or
- The variance will be consistent with the general spirit and intent of this Ordinance.

APPLICANT'S RESPONSES TO STANDARDS FOR VARIANCES AND APPEALS

The applicant's responses to the Standards for Variances and Appeals include but are not limited to the following:

- The signs, which exceed area standards, are appropriate in scale and proportions of the structure.
- The signs will not adversely impact the building or neighborhood as they do not face residential properties and coincide with main entrances.
- The variance is the minimum necessary to allow reasonable use, visibility, and readability as signs are proportionate with the scale of the building.

FACTORS APPLICABLE TO SIGN VARIANCES ("PRACTICAL DIFFICULTY")

The applicant shall show by a preponderance of the evidence that the variance is justified, as determined by the Board. The Board shall weigh the following factors to determine whether a practical difficulty exists and a sign variance should be granted:

A. Construction of a conforming sign would obstruct the vision of motorists or otherwise endanger public health or safety;

Not applicable.

B. A conforming sign would be blocked from the sight of passing motorists due to existing buildings, trees or other obstructions;

Not applicable.

C. Construction of a conforming sign would require removal or severe alteration to significant features on the site, such as removal of trees, alteration of the natural topography, obstruction of a natural drainage course, or alteration or demolition of significant historical features or site amenities;

Not applicable.

D. A sign that exceeds the allowable height or area standards of this Ordinance would be more appropriate in scale because of the large size or frontage of the premises or building;

All proposed signage is to be mounted on the building and not ground mounted. The facility will be utilized to host many customer functions so good image branding is crucial. The size of the signage proposed was developed after careful consideration of the scale and proportions of the structure. The orientation of the signage is such that it does not intrude and is not detrimental to adjacent properties or motorists.

E. The exception shall not adversely impact the character or appearance of the building or lot or the neighborhood;

Proposed signage faces East and South, away from residential properties. These locations coincide with the main entrance that guests will use to visit Sandridge.

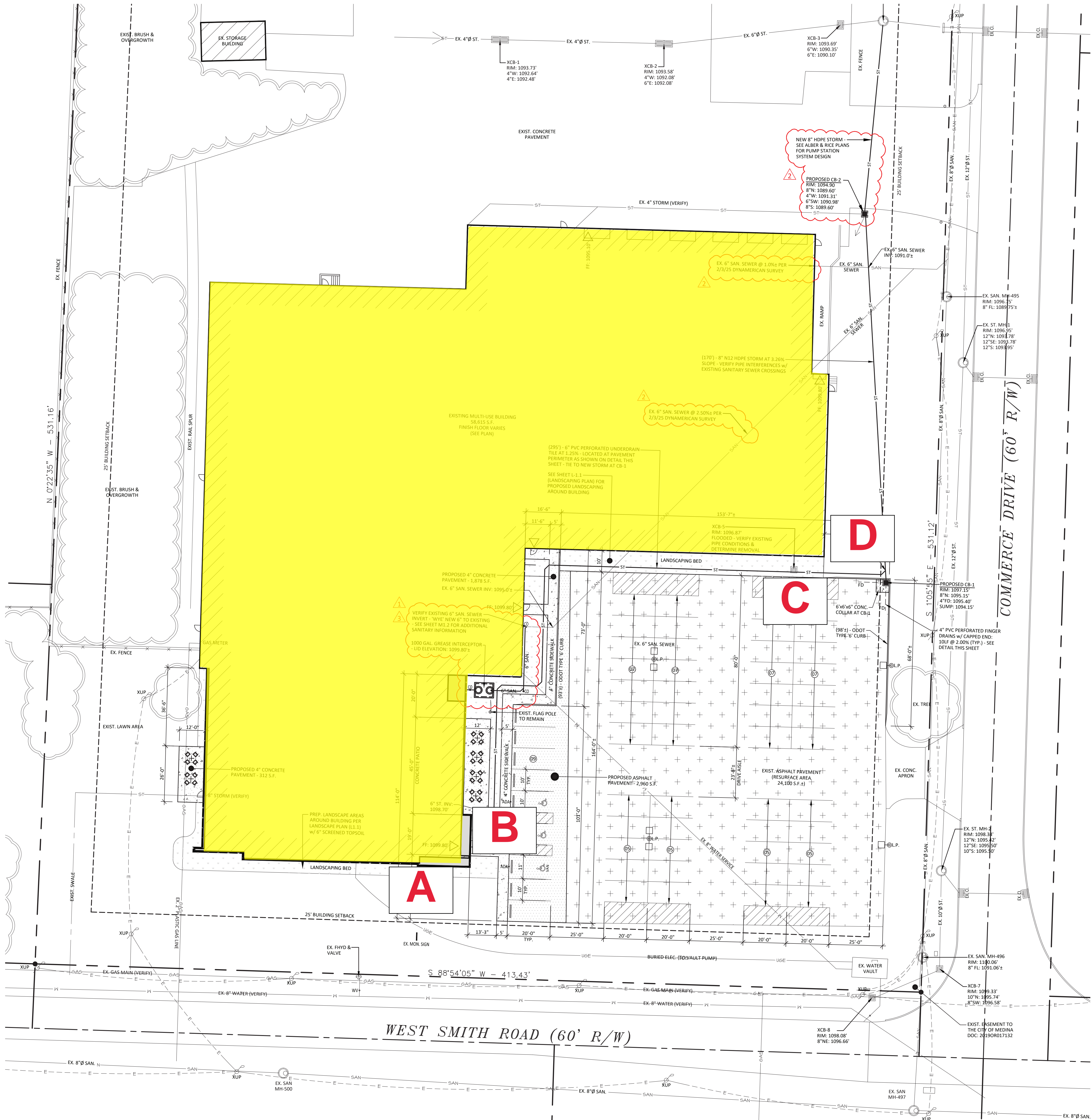
F. The variance sought is the minimum necessary to allow reasonable use, visibility, or readability of the sign; and/or

To achieve proportions consistent with the Sandridge brand logo and compliment the scale of the, building the sizes proposed are minimum.

G. The variance will be consistent with the general spirit and intent of this Ordinance.

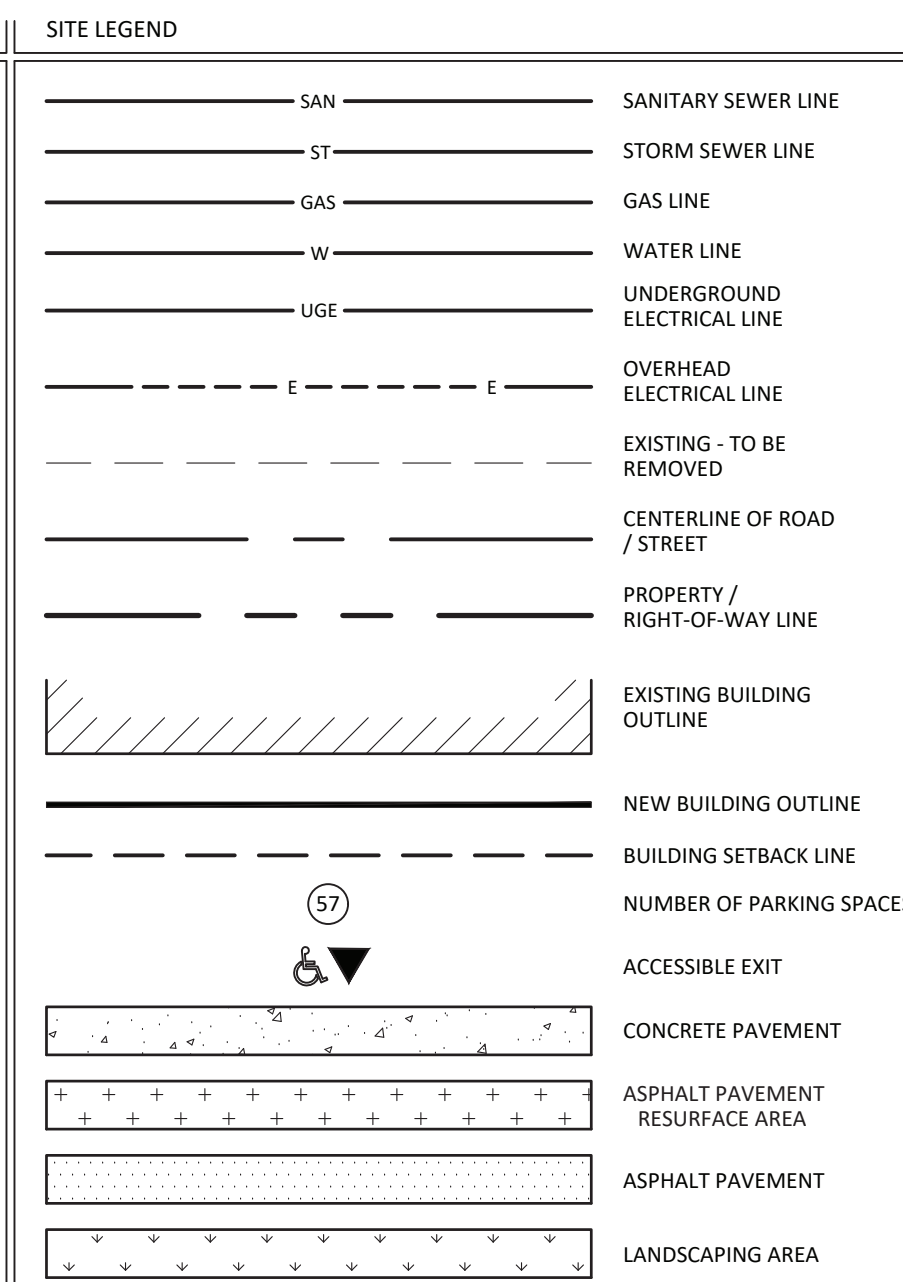
With only commercial properties adjacent to the signage, the intent of the ordinance is maintained.

ALL BIDDING AND CONTRACT DOCUMENTS PROVIDED OR FURNISHED BY JANOTTA & HERNER ARE AND SHALL REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF JANOTTA & HERNER, CONSTITUTE A VALUABLE TRADE SECRET OF JANOTTA & HERNER, AND ARE FURNISHED AS INSTRUMENTS IN SERVICE OF THE PROJECT. FURTHER USE, RE-USE, OR COPYING, IN WHOLE OR IN PART, IS PROHIBITED AND COULD BE CONSIDERED AS A CRIMINAL OFFENSE.



SITE & UTILITY PLAN

1" = 20'



ZONING DATA:

DISTRICT	I-1 (INDUSTRIAL DISTRICT)
USE	OFFICE BUILDING
TOTAL LOT AREA	5.00 AC.
DEVELOPED LOT AREA	3.75 AC.
PARKING/DRIVE AREA	87,120 S.F.
MIN. LOT SIZE	21,780 S.F.
MIN. FRONT YARD SETBACK	25'
MIN. SIDE YARD SETBACK	25'
MIN. REAR YARD SETBACK	25'
MAX. BUILDING HEIGHT	40 SPACES
PARKING REQ'D	3 SPACES
H.C. PARKING REQ'D	57 SPACES
PARKING PROVIDED	

STANDARD DUTY ASPHALT PAVEMENT
8" COMPACTED #304 STONE BASE
1.5" 448, TYPE 2, ASPHALT BASE COURSE
1.5" 448, TYPE 1, ASPHALT SURFACE COURSE

ASPHALT PAVEMENT RESURFACING
GRIND, REMOVE, AND REPLACE TOP 1.5" OF EXISTING ASPHALT PAVEMENT
APPLY BINDER & RE-STRIPE PER PLAN

ALL ASPHALT PAVEMENTS SHALL USE A TACK COAT LAYER TO BE APPLIED AT A RATE OF 0.04-0.06 GAL/SY FOR NEW ASPHALT. FOR ASPHALT OVERLAYS APPLY A TACK COAT LAYER AT A RATE OF 0.06-0.09 GAL/SY. IF A DILUTED TACK COAT IS USED, THE APPLICATION RATE SHALL BE TWICE THE PREVIOUS RATES. TACK COAT SHALL CONFORM TO DODOT 407.

CONCRETE SIDEWALK
4" CONCRETE W/ 6% W-1.4W/1.4 W.W.M.
CONTROL JOINTS @ 5'-0" C/C

ALL EXTERIOR CONCRETE SHALL BE DODOT CLASS C, 4000 PSI MIN. COMPRESSIVE STRENGTH, MIN. 600 LB/CY CEMENT CONTENT, MAX. 50 W/C, 6% AIR ENTRAINMENT, AND MAX. 4 1/2" SLUMP.

- CITY OF MEDINA - GENERAL NOTES FOR CONSTRUCTION
- ALL CONTRACTORS COMPLETING WORK WITHIN THE CITY OF MEDINA MUST BE REGISTERED WITH THE CITY. PLEASE CONTACT THE CITY OF MEDINA BUILDING DEPARTMENT AT (330) 722-9030 FOR DETAILS ON THE REGISTRATION PROCESS.
 - THE CONTRACTOR MUST PROVIDE THE CITY ENGINEER WITH A MINIMUM OF FORTY EIGHT (48) HOUR NOTICE OF ANY CONFLICTS. CONSTRUCTION OF THIS PROJECT MAY HAVE WITH THE TRAFFIC FLOW ON LAFAYETTE ROAD OR RYAN ROAD.
 - ALL WORK WITHIN THE RIGHT-OF-WAY AND EASEMENT AREAS MUST BE INSPECTED BY THE CITY OF MEDINA ENGINEERING DEPARTMENT. CONTACT THE CITY ENGINEER AT (330) 722-3846 TO SCHEDULE INSPECTIONS.

STORM STRUCTURE TABLE					
ID #	NEW/EXIST.	T/CASTING (RIM)	INV.	PIPE	REMARKS
CB-1	NEW	1097.15'	1095.15' - (N) 1095.40' - (S, W)	8" 4" FD	ODOT 2-28 CATCH BASIN w/ EIRW 5250 FRAME & GRATE (NO KNOCKOUTS)
CB-2	NEW	1094.90'	1089.60' - (N) 1091.31' - (W) 1090.98' - (SW) 1089.60' - (S)	8" 4" 6" 8"	ODOT 2-28 CATCH BASIN w/ EIRW 5250 FRAME & GRATE (NO KNOCKOUTS)

*ALL PROPOSED CATCH BASINS SHALL HAVE A 1'-0" MINIMUM DEEP SUMP CAST BELOW THE LOWEST PIPE INVERT (TYP.)

*SHOP DRAWINGS FOR ALL STRUCTURES SHALL BE SUBMITTED TO JH FOR REVIEW AND APPROVAL PRIOR TO PRODUCTION

SITE UTILITY SPECS:

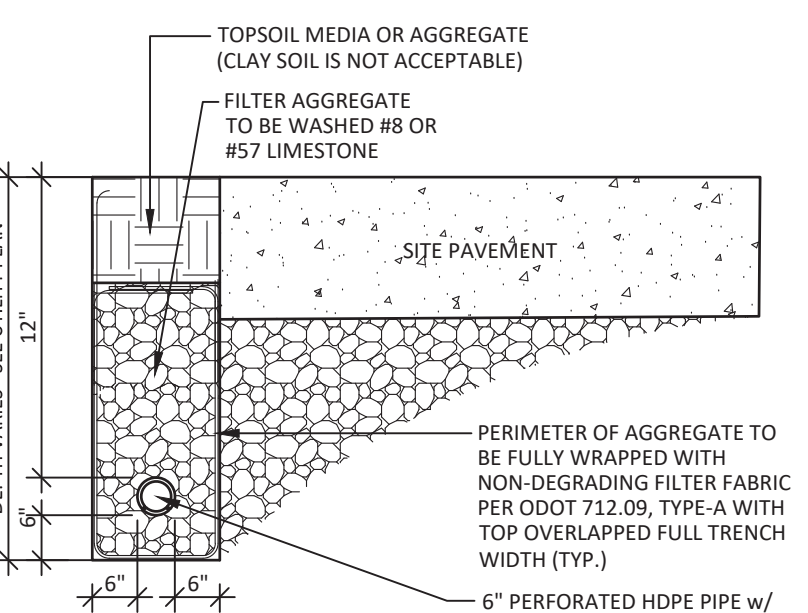
STORM SEWERS

A. MATERIALS

- STORM SEWER LINES OUTSIDE THE BUILDING LIMITS SHALL BE GASKETED SDR 35 PVC CONFORMING TO ASTM 3034 AND D3212 OR CORRUGATED HIGH DENSITY POLYETHYLENE CONFORMING TO ASTM F2648 WITH SMOOTH INTERIOR AND STANDARD FITTINGS. HOPE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. PIPE MATERIAL SHALL BE AS NOTED ON THE DRAWINGS.
- REINFORCED CONCRETE PIPE IF REQUIRED BY THE LOCAL JURISDICTION FOR CULVERTS OR OUTLETS SHALL COMPLY WITH DODOT 706.02.
- MANHOLES AND CATCH BASINS SHALL CONFORM TO ASTM C478 WITH MASTIC JOINTS CONFORMING TO ASTM C990.
- CASTINGS, COVERS AND GRATES SHALL BE GRAY IRON CONFORMING TO ASTM-A-48 CLASS 35B, HEAVY DUTY, TRAFFIC RATED.

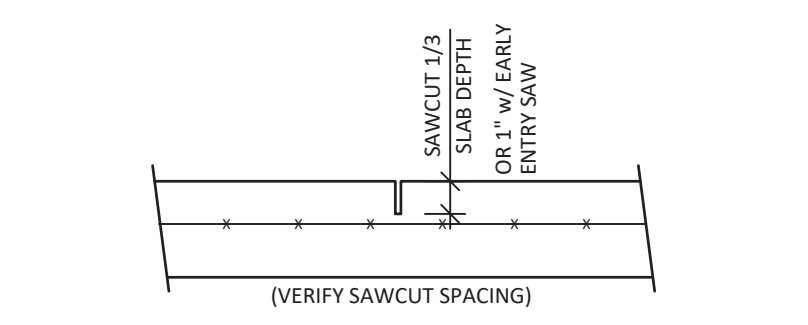
B. INSTALLATION

- FURNISH ALL MATERIALS, EQUIPMENT AND LABOR REQUIRED FOR A COMPLETE, TESTED AND APPROVED STORM SEWER AS SHOWN AND NOTED ON THE DRAWINGS.
- ACCURATELY LOCATE ALL EXISTING UNDERGROUND UTILITIES IN THE WORK AREA, CONFIRM ROUTING, AND ACCURATELY LAYOUT THE WORK PRIOR TO CONSTRUCTION START.
- ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED IN MAXIMUM 10" LIFTS. PREMIUM BACKFILL, DODOT 304, IS REQUIRED UNDER PAVEMENT AREAS AND WITHIN THE ZONE OF INFLUENCE OF ADJACENT TRAFFIC AREAS. OTHER AREAS MAY BE BACKFILLED WITH PROPERLY COMPACTED, APPROVED SOIL MATERIAL. ALL PIPE SHALL BE BEDDED WITH NO. 8 LIMESTONE OR SAND BACKFILL, PROPERLY COMPACTED, 6" BELOW AND 12" ABOVE THE PIPE IN ACCORDANCE WITH THE STANDARD DETAILS.
- STORM LINES SHALL BE BURIED 24" MINIMUM FROM TOP OF PIPE TO FINISH GRADE AND A MINIMUM OF 12" FROM TOP OF PIPE TO BOTTOM OF PAVEMENT SUB-BASE.
- MAINTAIN AT LEAST A 10' HORIZONTAL AND 18" VERTICAL SEPARATION FROM ANY WATER LINE.
- STORM SEWERS SHALL BE INSPECTED AND TESTED IN ACCORDANCE WITH LOCAL REQUIREMENTS.



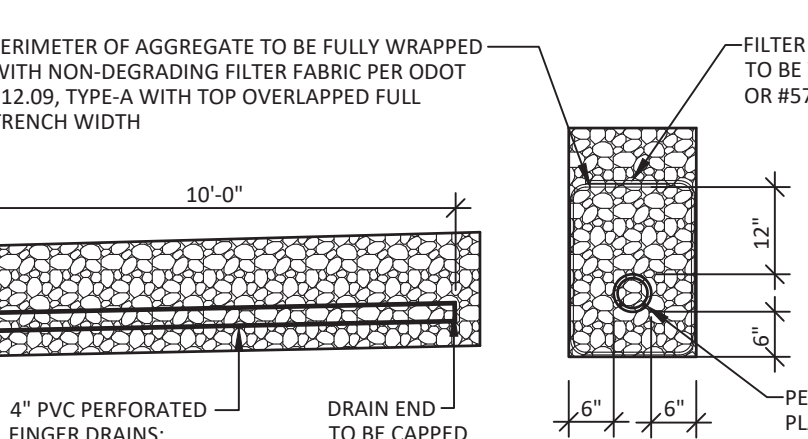
PERIMETER DRAIN DETAIL

NOT TO SCALE



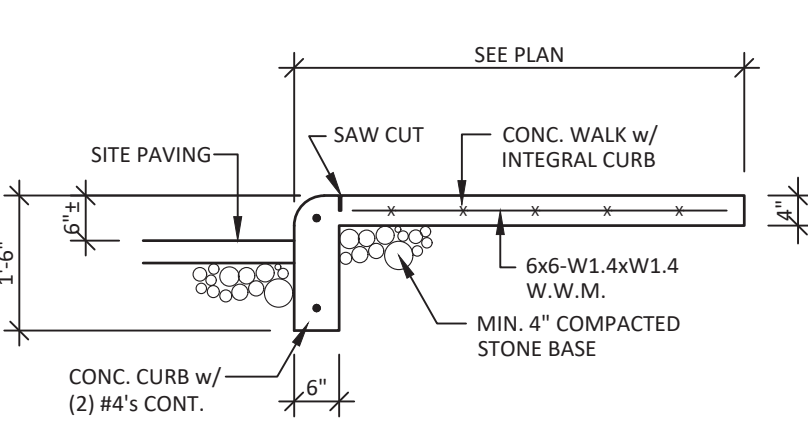
SLAB CONTROL JT. DETAIL

NOT TO SCALE



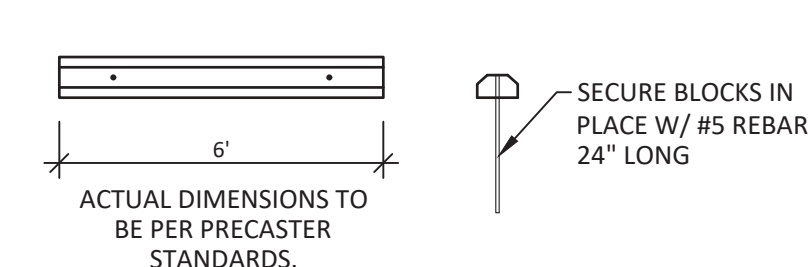
FINGER DRAIN DETAIL

NOT TO SCALE



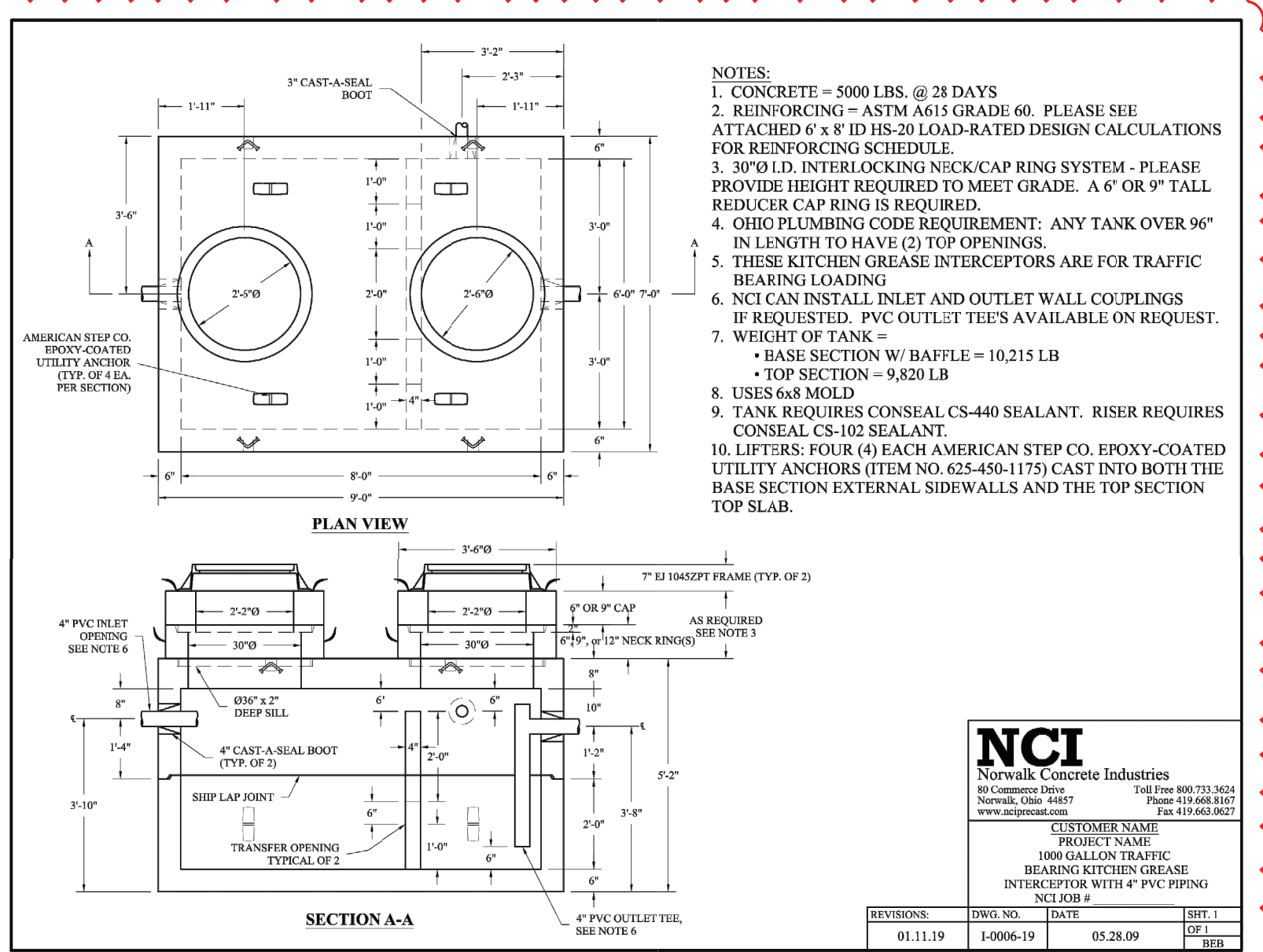
CURB & WALK DETAIL

NOT TO SCALE



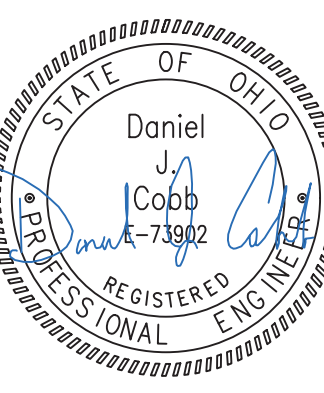
PARKING BLOCK DETAIL

NOT TO SCALE



1000 GAL. GREASE INTERCEPTOR DETAIL

NOT TO SCALE



REVISIONS

DATE	REVISION
09/12/24	CONCEPT
10/15/24	REVISION
12/5/24	PERMIT
01/10/25	REV. 1 - MCSE
02/05/25	REV. 2 - MCSE
02/12/25	REV. 3 - MCSE

Janotta & Herner
305 MONROE STREET MONROEVILLE, OHIO 44847 (419) 465-4611

SANDRIDGE FOODS
1055 WEST SMITH ROAD, MEDINA, OH 44256

SITE & UTILITY PLAN

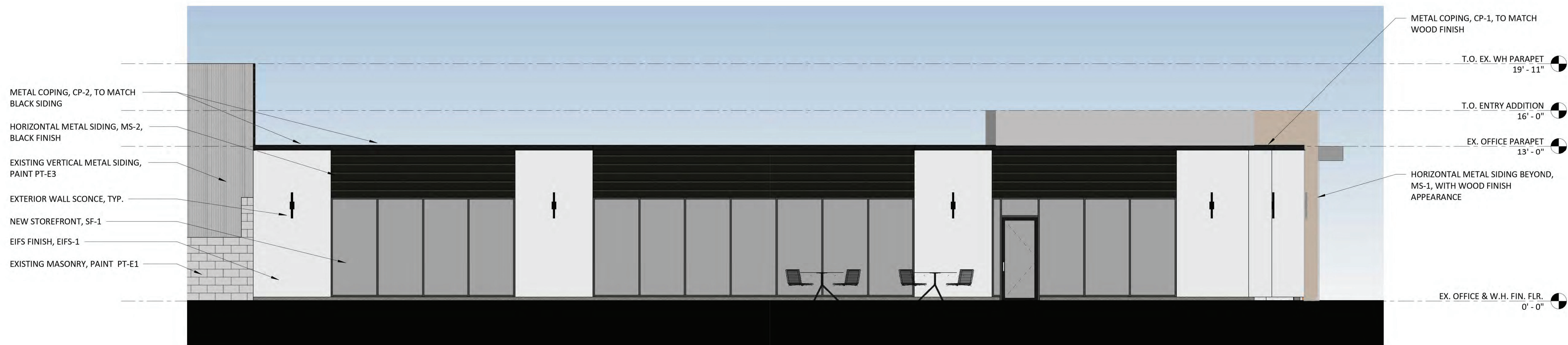
DRAWN BY: JDB
JOB NUMBER: 2024-131

C1.1

ARCH full bleed E1 (30.00 x 42.00 inches)

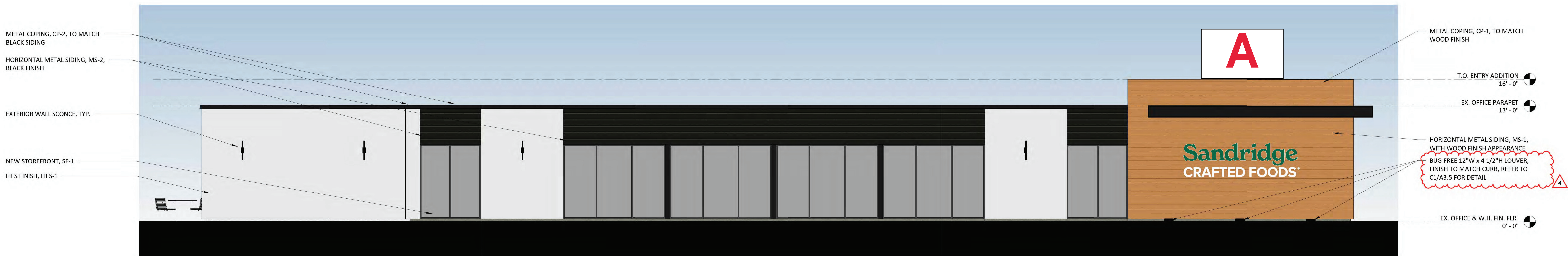
REVISIONS

12/17/24 PERMIT SET
02/28/25 REV. 4 - FIELD



WEST ELEVATION - OFFICE

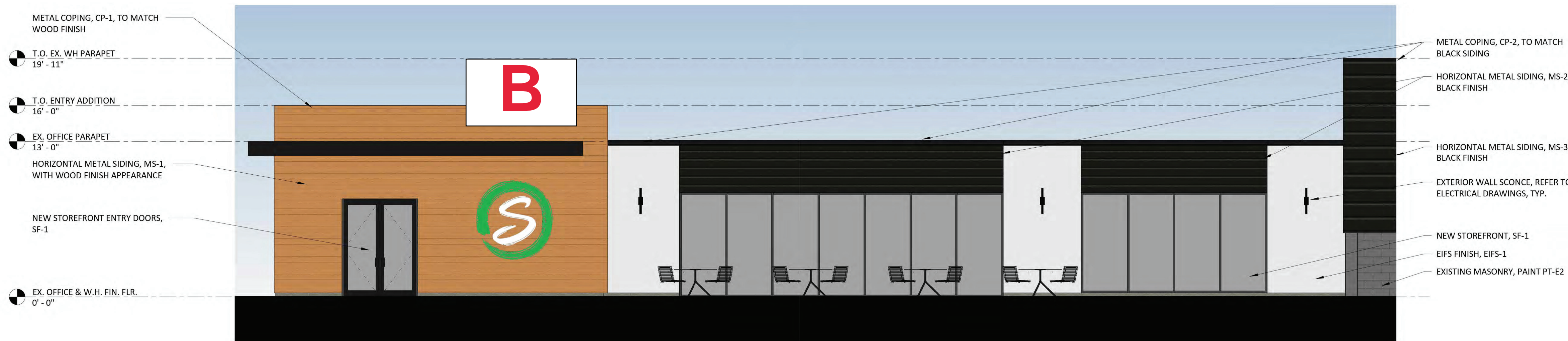
3/16" = 1'-0"



SOUTH ELEVATION - OFFICE

3/16" = 1'-0"

EXTERIOR MATERIAL SCHEDULE				
Abbr.	Material	Manufacturer	Line	Color
CP-1	Metal Coping	TBD	Drip Edge only	Match MS-1 Siding
CP-2	Metal Coping	TBD	4" Height	Match MS-2&3 Siding
EIFS-1	Ext. Insul. Finish System	Dryvit	Sandblast Finish	628 White Haze
MS-1	Metal Siding	MAC Metal Architecture	Norwood	Torrified
MS-2	Metal Siding	TitanTek	VariPanel HVP-2	Matte Black
MS-3	Metal Siding	TitanTek	VariPanel HVP-1	Matte Black
PT-E1	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW7632 Modern Gray
PT-E2	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW 7068 Grizzle Gray
PT-E3	Paint	Sherwin-Williams	Emerald Exterior Acrylic Latex Paint	SW7632 Modern Gray
SF-1	Metal Storefront	TBD	TBD	Black



EAST ELEVATION - OFFICE

3/16" = 1'-0"

Janotta & Herner

309 MONROE STREET MONROEVILLE, OH 44847 (419) 465-4611

SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER
1055 WEST SMITH ROAD, MEDINA, OH 44256
OFFICE ELEVATIONS

DRAWN BY: PJW
JOB NUMBER: 2024-131

A2.1

ARCH E (30.00 x 42.00 Inches)



REVISIONS

12/17/24 PERMIT SET



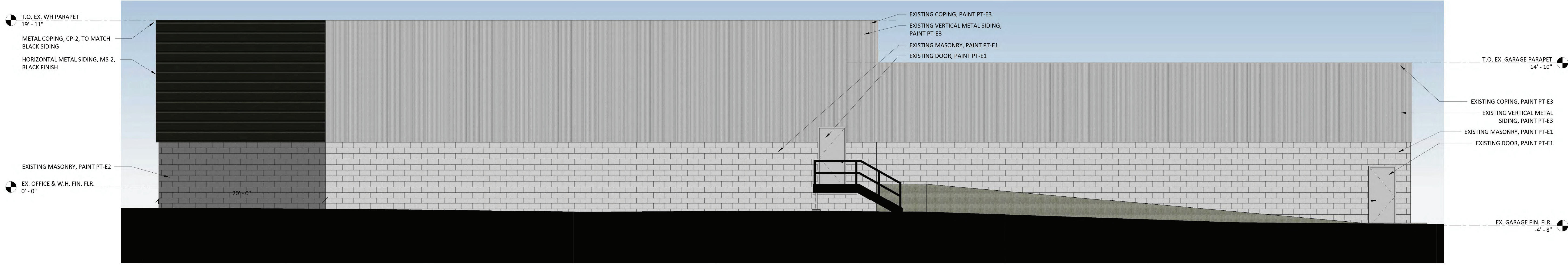
309 MONROE STREET MONROEVILLE, OH 44847 (419) 465-4611

SANDRIDGE CRAFTED FOODS
CULINARY & MARKETING CENTER
1055 WEST SMITH ROAD, MEDINA, OH 44256
WAREHOUSE ELEVATIONS

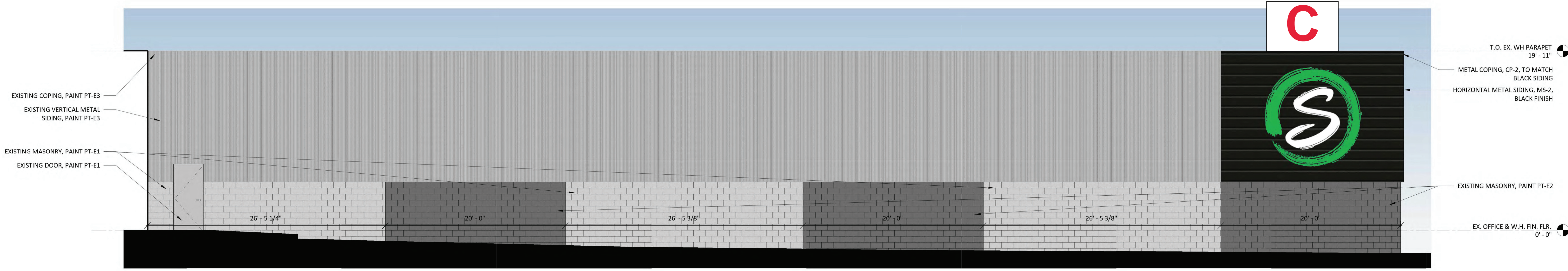
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JOB NUMBER: 2024-131

A2.2

ARCH E (30.00 x 42.00 Inches)



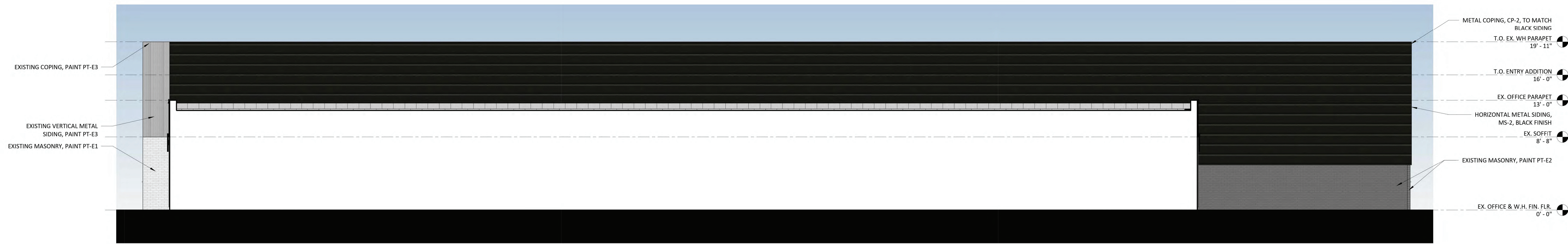
4 EAST ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



2 EAST ELEVATION
3/16" = 1'-0"

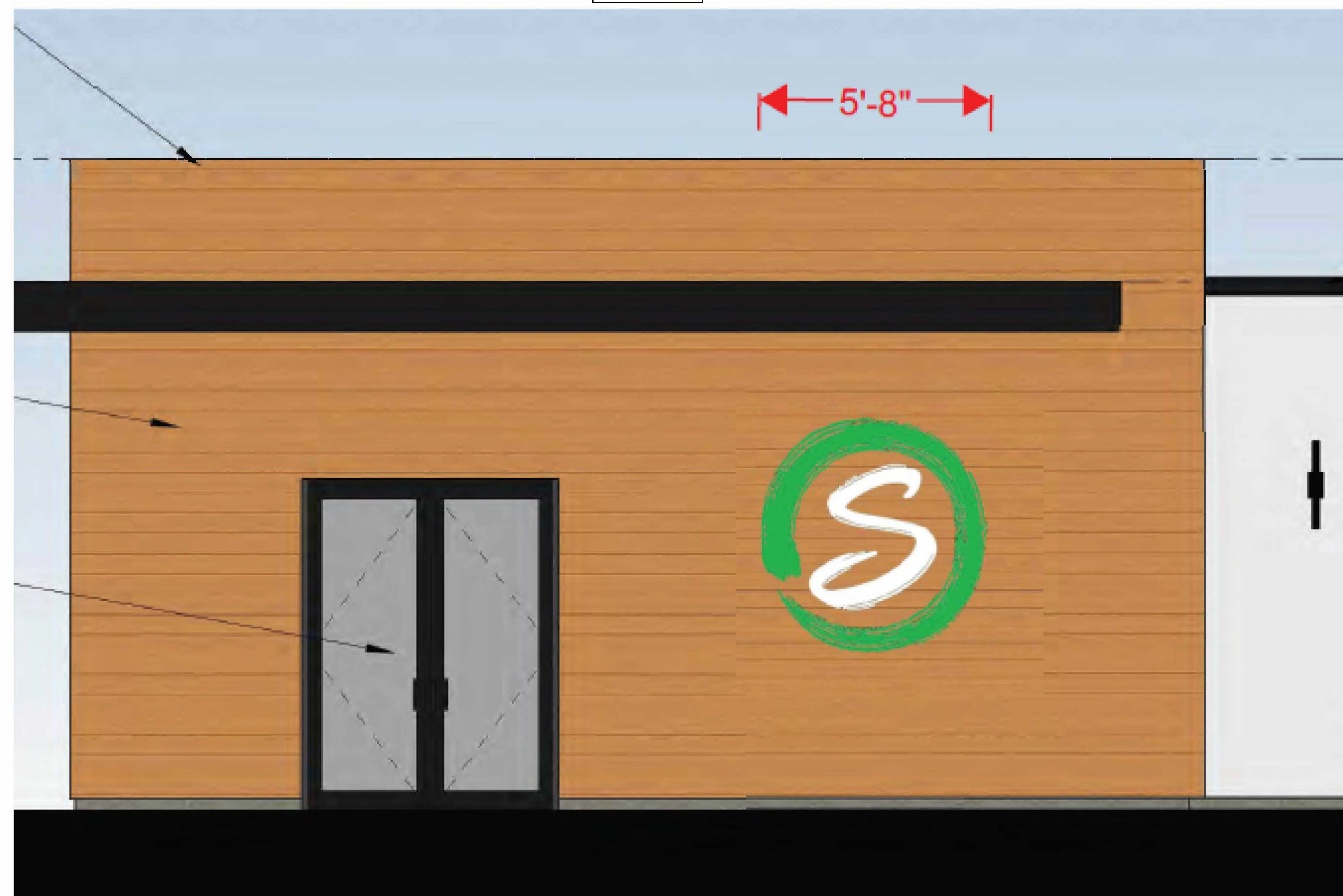


1 SOUTH ELEVATION
3/16" = 1'-0"

A



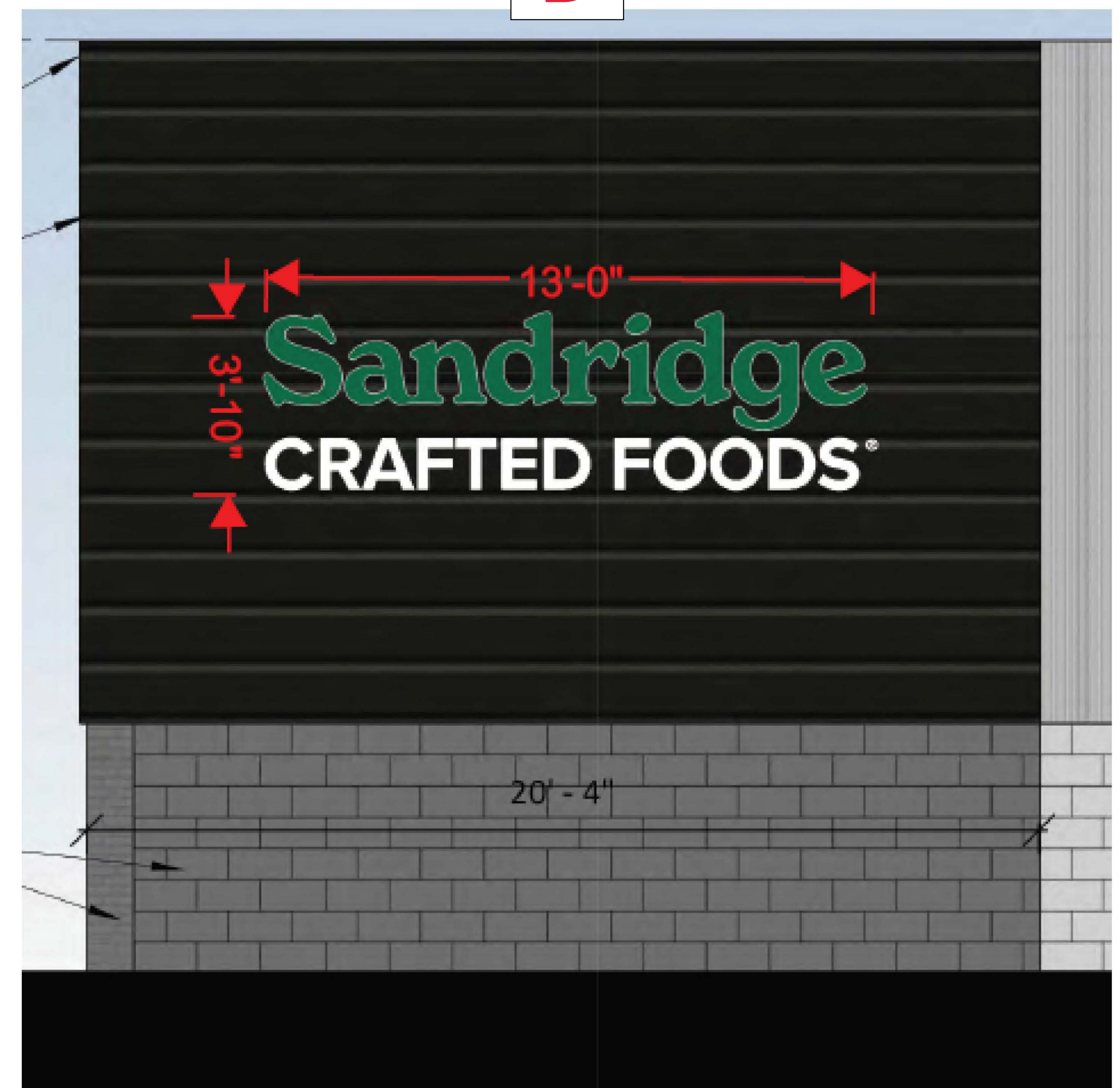
B



C



D





Janotta & Herner